

Table with columns: BID PACKAGE, DESCRIPTION, POLICE & FIRE BASE BID, LIBRARY BASE BID, TOTAL BASE BID, ALT. 1 Retrofit Roof System, ALT. 1 Metal Storage Building, ALT. 2 Glass Walls, ALT. 3 Data Cabling, ALT. 4 BIPB in lieu of Brick, ALT. 6 Ceramic Tile in Corridors, ALT. 7 Covered Parking, ALT. 8 Concrete Paying, ALT. 9 Ceramic Tile Walnut, TOTAL (Base Bid + Alternate), CONTRACTOR, NOTES.

Information from 4/6/2021
Council Packet regarding
Bond Project.

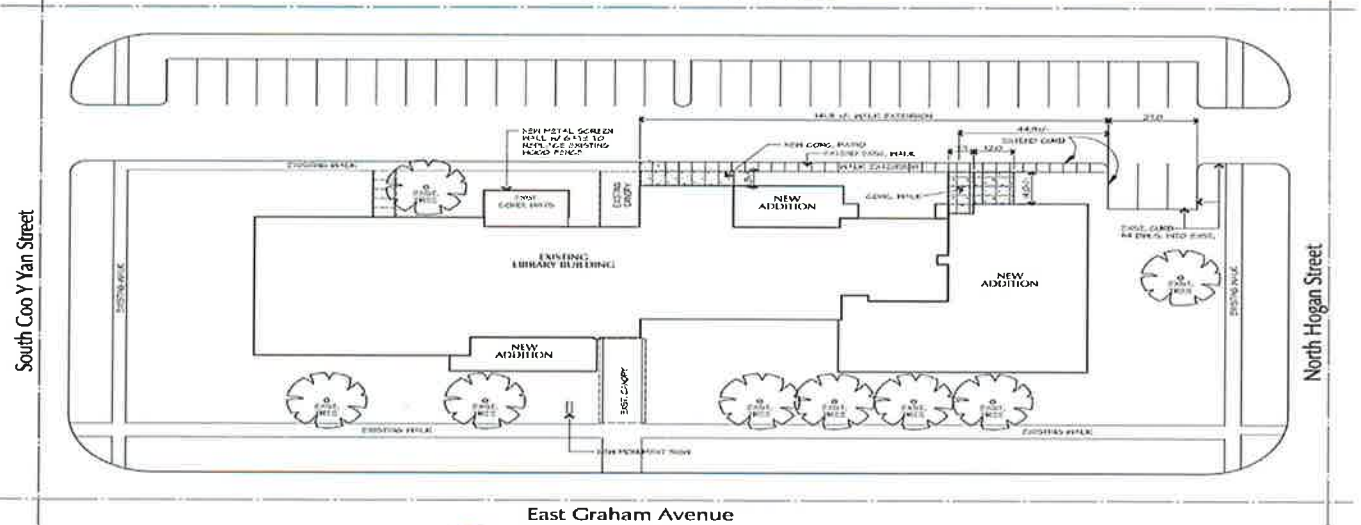
Pryor Emergency Services Center & Library Renovation Project

Monthly OAC Meeting

Thursday, December 16th, 2021



Brown Place



East Graham Avenue



1637 S Boston Ave,
Tulsa, OK 74119
Phone: (405) 224-1554

Meeting # - 11

Project: 1903a
**Pryor Police/Fire Emergency
Services Center and Library
Additions**

Monthly Owner's Meeting – Agenda

DATE:	12.16.2021	MEETING TIME:	2:00pm
LOCATION:	Job Site Office Trailer		
OVERVIEW:			

ATTENDEES			
Name	Company	Phone Number	Email
Larry Lees	City of Pryor Creek		
BK Young	City of Pryor Creek		
Dennis Nichols	City of Pryor Creek		
James Willyard	City of Pryor Creek		
James Baumert	City of Pryor Creek		
Kevin Trammel	City of Pryor Creek		
Cari Boatright Rerat	City of Pryor Creek		
Jim Graber	Graber and Associates		
Brenna Wells	CMSWillowbrook		
Gary Rosebrough	CMSWillowbrook		
Carson Lile	CMSWillowbrook		
Bryan Miles	CMSWillowbrook		
Ron Sanders	Graber and Associates		

Schedule Update
6-week Look Ahead
<ul style="list-style-type: none"> See attached 6-Week Look Ahead.
Lost Days
<ul style="list-style-type: none">
Baseline Schedule
<ul style="list-style-type: none"> See attached Baseline Schedule.
Minutes
<ul style="list-style-type: none">

Finance
Contingency
<ul style="list-style-type: none"> See attached Contingency Log.
Allowances
<ul style="list-style-type: none"> See attached Allowance Log.
Minutes
<ul style="list-style-type: none">

Open Items

Submittal Review

- See attached Submittal Log.

Minutes

-

RFI Review

- 23.1: Unanswered Portion of RFI 23.
- 45: Dust Size Discrepancy.
- 66: Bathroom Benches
- 67: Brick Sign Color
-

Minutes

- **23.1- Ron stated we would have an answer on the first of next week.**
- **045- Ron stated that GA needs to follow up with Engineer.**

Items to Discuss

- Open PR's/Design Changes
- Library Museum Add – Waiting on price on expedited joists and deck.
- 12 Additional Bollards.
- Radio Tower Foundation.
- Gun Locker and wall design changes.
- Finish changes.
- Detention Area changes.
- Removal of cabinets and fridge in conference room.
- Additional camera drops.
- Added counter in Booking Area.
- Page turn review changes. (See Attached Email)
- Vector Artwork for the Police and Fire badges for the signage.

Page Turn Review:

Police/Fire:

1. Back cabinets for offices. Incorrect per James.
6. Air compressor move.
7. Confirm added stud wall is not necessary and neither are smoke dampers.

Library:

5. Flag pole and light.

- **A/E Discussion**

- **Owner**

- **Contractor**
- Next week's meeting.

Minutes

Allowance Log

Costs to Date

Name	Starting Value	Approved	Pending	Remaining Balance	Notes
Aggregate	\$ 20,000.00	\$ 1,373.53		\$18,626.47	
Temp Partitions	\$ 7,500.00	\$ -		\$7,500.00	
Appliances	\$ 16,000.00	\$ -		\$16,000.00	
MEP	\$ 35,000.00	\$ 2,530.00		\$32,470.00	
Sealants & Waterproofing	\$ 60,000.00	\$ -		\$60,000.00	
Misc. Metals	\$ 5,000.00	\$ -		\$5,000.00	
Protect Existing	\$ 10,000.00	\$ -		\$10,000.00	
Misc. Patching/Painting	\$ 10,000.00	\$ -		\$10,000.00	
Patch/Repair Paving	\$ 20,000.00	\$ -		\$20,000.00	
Testing	\$ 50,000.00	\$ 9,413.75		\$40,586.25	
Pier/Casing Depth	\$ 15,000.00	\$ -		\$15,000.00	
Steel	\$ 30,200.00	\$ -		\$30,200.00	

Contingency Log

Costs to Date

Name	Starting Value	Approved	Pending	Remaining Balance	Notes
Contingency	\$526,941.53	\$ 367,191.31	\$ (18,797.00)	\$178,547.22	

Contingency Modification (CMOD) Log

Number	Description	Reason	Cost	Status
1	Stabilized Aggregate Removal	Unforeseen	\$ 25,000.00	APPROVED
2	Stab. Agg Removal Final Cost	Unforeseen	\$ (8,095.00)	APPROVED
3	Return Folding Part. Install	Buy-Out Item	\$ (11,800.00)	APPROVED
4	Raise Building Pad 4"	Arch. Direction	\$ 11,250.00	APPROVED
5	Additional Bid Cost - Site Util.	Buy-Out Item	\$ 12,830.00	APPROVED
6	Additional Bid Cost - Painting	Buy-Out Item	\$ 42,752.00	APPROVED
7	Shingle Roofing VE Option	Buy-Out Item	\$ (29,825.00)	APPROVED
8	Additional Bid Cost - Metal Roof	Buy-Out Item	\$ 301,900.00	APPROVED
9	Metal Roofing VE Option	Buy-Out Item	\$ (7,750.00)	APPROVED
10	Return Gutter Screen Cost	Buy-Out Item	\$ (9,476.00)	APPROVED
11	RFI-20, 21 and 22 Revisions (#2)	End User Req.	\$ (10,970.86)	APPROVED
12	HVAC Unit Upgrade	Arch. Direction	\$ 30,523.32	PENDING
12	Library Tree Demolition	Not in dgws	\$ 8,350.00	APPROVED
13	HVAC Cost Increase	Unforeseen	\$ 16,994.95	APPROVED
14	Storefront Colors	Arch. Direction	\$ 3,652.50	APPROVED
15	Vehicle Exhaust System	Owner Request	\$ 901.30	APPROVED
16	Kitchen Hood	Arch. Direction	\$ 3,477.42	APPROVED
17	Storage Building Metal Additions	Owner Request	\$ 18,000.00	APPROVED
19	RFI 05 and 016 Wall Depth Change	Arch. Direction	\$ 875.00	
21	Security Camera Deduct	Owner Request	\$ (19,672.00)	

Report-Open Submittals



Submittal #	Package	Open Section	Title	Description/Notes	Type	Responsible Designer	Ball in Court	Status	Received Date	Sent For Approval	Approval Due Date	Design Approval Time
064100.001	Millwork	064100	Millwork SD	Millwork SD	Shop Drawing	Designer	Designer	Open	11/16/21	11/01/21	11/16/21	
064100.002	Millwork	064100	Millwork PD	Millwork PD	Product Information	Designer	Designer	Open	11/16/21	11/01/21	11/16/21	
101423.12.001.001	Signage	101423.12	Signage Shop Drawings - BOTH BUILDINGS	Signage Shop Drawings - BOTH BUILDINGS	Shop Drawing	Designer	Designer	Open	05/22/21	05/28/21	06/10/21	
122113.13.001.001	Window Shades	122113.13	Blinds Product Data and Location Plans - BOTH BUILDINGS	Blinds Product Data and Location Plans - BOTH BUILDINGS	Product Information	Designer	Designer	Open	06/08/21	07/01/21	07/14/21	
122113.13.002.001	Window Shades	122113.13	Blinds Samples - BOTH BUILDINGS	Blinds Samples - BOTH BUILDINGS	Sample	Designer	Designer	Open	07/08/21	07/08/21	07/19/21	
102239.001	Folding Partition	102239	Folding Partition Shops and Product Data - BOTH BUILDINGS	Folding Partition Shops and Product Data - BOTH BUILDINGS	Product Information Shop Drawing	Designer	Designer	Open	07/08/21	07/08/21	07/21/21	
033000.007	Concrete	033000	Non shrink grout for anchor bolts	New grout product that is currently available	Product Information	Designer	Designer	Open	01/16/21	12/18/21	12/20/21	

Open RFI's



RFI#	Subject	Description	Response	Status	Initiated At	Closed Date	Assigned
009.1	RFI 23.1 Remaining Electrical Question Clarifications	This RFI is to pullout what is still needing answered from RFI 23. 1. Please reference the revisions detailed in RFI #20. The EHI's in Toilet #123 and Wash Equipment #124 were not included in the electrical plans. What circuits should we use to power the EHI's? Where should the 1-0ba's for the EHI Units be located? Please advise. This area is being configured and vestibule is being eliminated, but thermostat is staying in the unit heater. 2.Js still needs circading information on EHI's. 5 Please reference Detail 5 on E4.3. The EF in Toilet #123 details the controls for the fan are to be ran off the light switch via a separate 120v circuit. No circuit information is provided. Please advise. I will get this. 2.Js needs verification on voltage and amps for EF if using same circuit. Is it okay to use the same circuits for EF and light? 6. Please reference question #3 above, RFI #20, E1.2 and P2.2. Please provide information on which circuits should feed the Hot Water Tank and Circulating Pump in Tool Room #121. Area being revised but will get clarification. 2.Js still needs this information. 10. Wash Equipment Room #124 has accommodations for three circuits (P4-43, 45, 47). What will these circuits be feeding? How should they be roughed-in and trimmed out? Note: The panel schedule on E5.2 says these are spare 3-pole 20-amp circuits? Please advise. WE need the submitted an equipment, but I would mount circuit panel box for that in the room on the wall. 2.Js still needs this information.		Open	12/13/21		
2 066	Bathroom Benches	Referencing the bench seats in Locker Room 146, Chief's Locker 169, Toilet 133 and Toilet 136; there does not seem to be a specification section for these. Please provide specifications.		Open	12/13/21		
3 045	Duct Size Discrepancy	See attached. The duct size decreases and then increases again later down the line. Is this a mistake? They may cause air flow issues in the future.		Open	10/25/21		

Progress Photos

**Emergency Services Center Site
Underground Plumbing Install**



**Emergency Services Center Site
Steel Install**



Progress Photos

**Library
Underground Plumbing**



**Library
Footing Install**



Progress Photos

**Emergency Services Center Site
Steel Install**



**Emergency Services Center Site
Steel Install**



Proposal Request #01 : Booking Room 172B Changes

Project Name: Police and Fire Emergency Services Center
and City Library Additions for the City of
Pryor Creek
505 East Graham Avenue
Pryor Creek, OK 74361

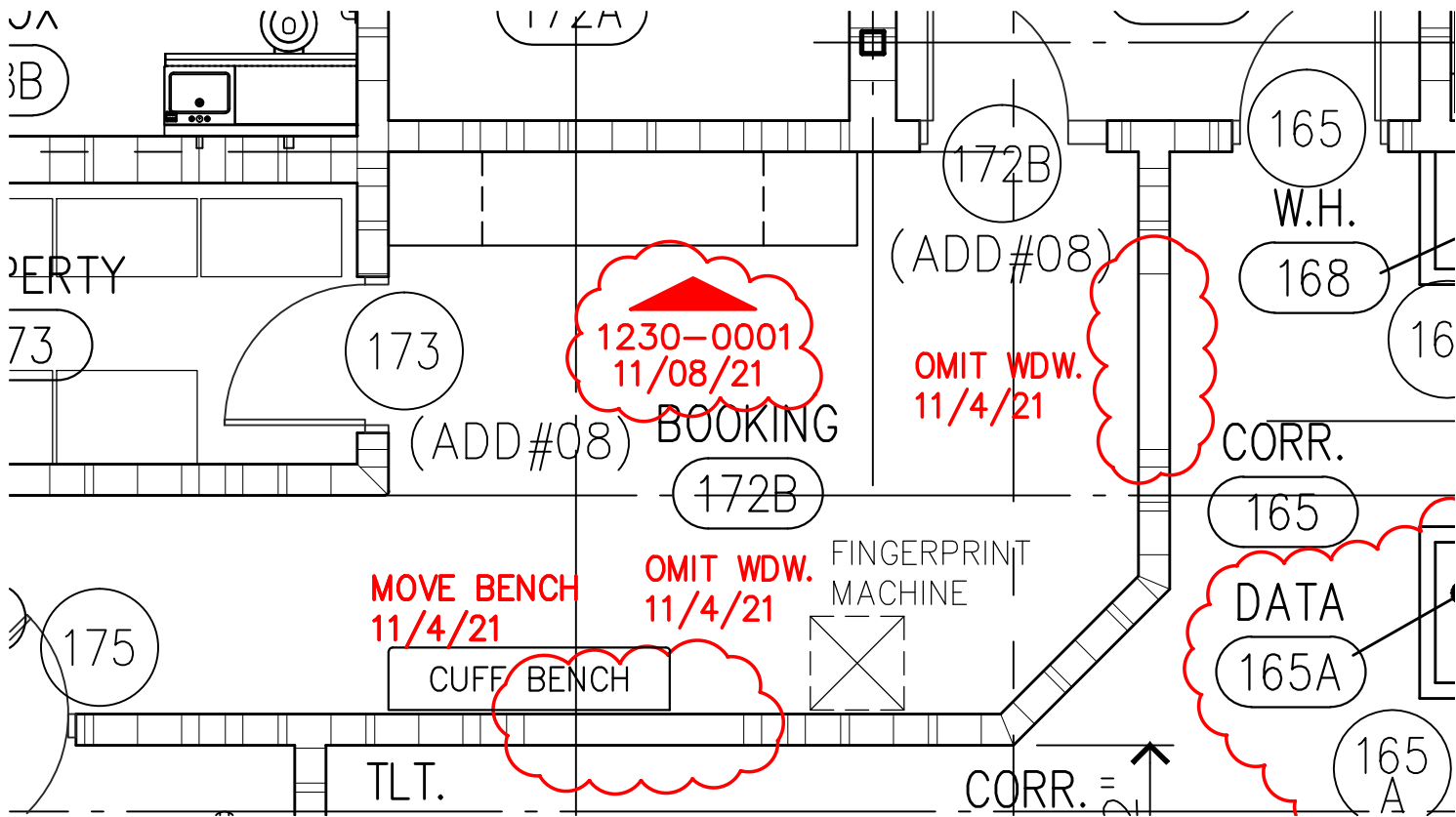
Architect: Graber and Associates
2415 East Skelly Drive, Suite 101
Tulsa, OK 74105-6076
918-747-8028

Construction Manager: CMSWillowbrook
1637 S. Boston Ave
Tulsa, OK 74119
918-252-0585

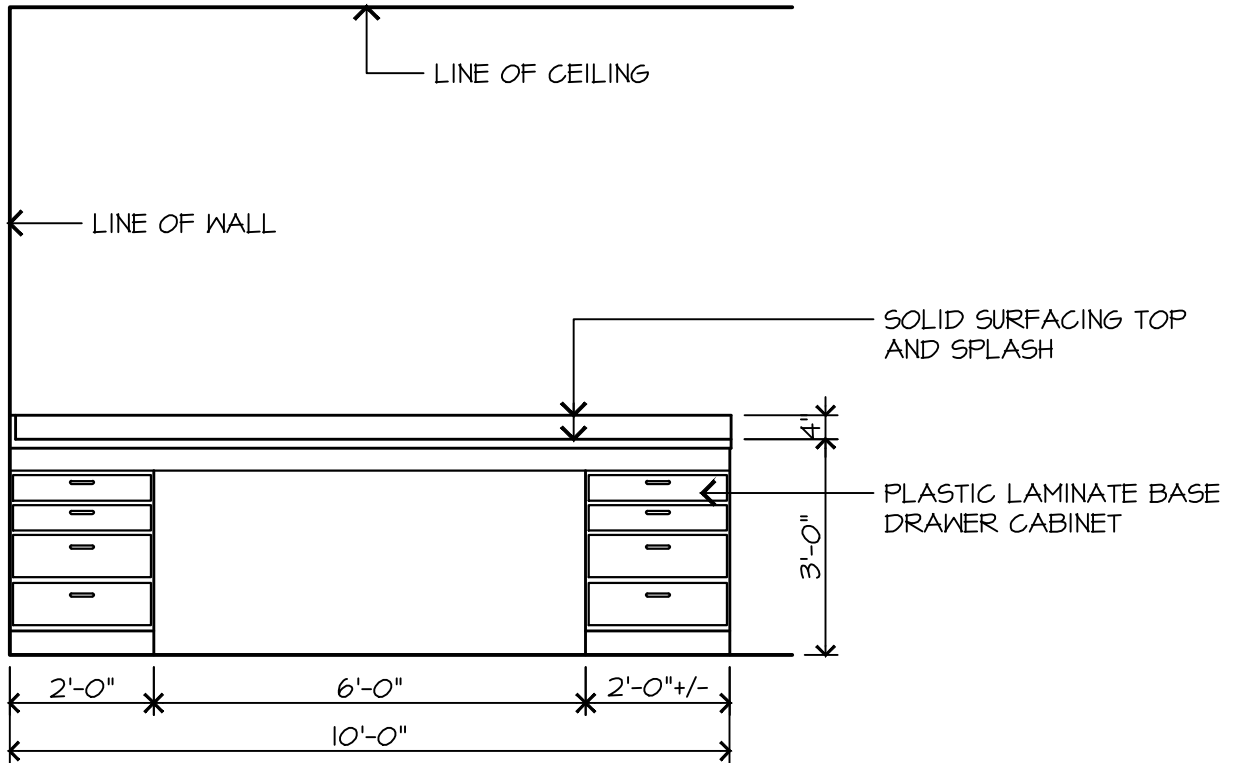
Issue Date: November 15, 2021

Summary of Changes (includes but is not limited to):

- Remove two detention area windows from room 172B.
(Window mark number 19.)
- Move cuff bench in room 172B.
- Add built-in millwork to room 172B.



PARTIAL PLAN A2.1
 BOOKING 172B - COUNTER TOP



ROOM 172B BOOKING

1230-0001.dwg 11/08/21

Proposal Request #02 : Conference Room 163

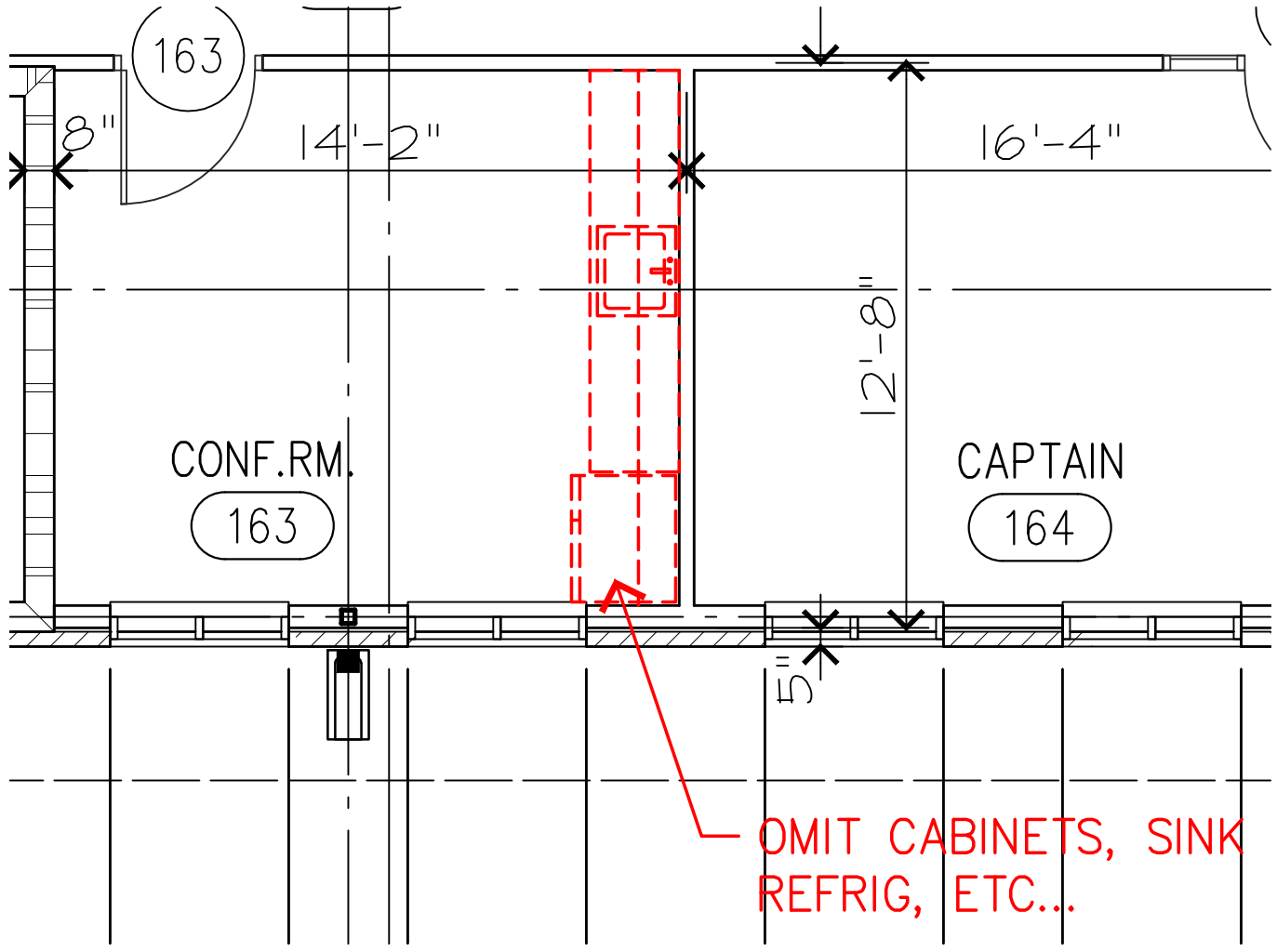
**Project Name: Police and Fire Emergency Services Center
and City Library Additions for the City of
Pryor Creek**
505 East Graham Avenue
Pryor Creek, OK 74361

Architect: Graber and Associates
2415 East Skelly Drive, Suite 101
Tulsa, OK 74105-6076
918-747-8028

Construction Manager: CMSWillowbrook
1637 S. Boston Ave
Tulsa, OK 74119
918-252-0585

Issue Date: November 15, 2021

Summary of Changes (includes but is not limited to):
- Deleted millwork and appliances in room 163.



Proposal Request #03 : Site Plan Storage Bldg Changes

Project Name: Police and Fire Emergency Services Center
and City Library Additions for the City of
Pryor Creek
505 East Graham Avenue
Pryor Creek, OK 74361

Architect: Graber and Associates
2415 East Skelly Drive, Suite 101
Tulsa, OK 74105-6076
918-747-8028

Construction Manager: CMSWillowbrook
1637 S. Boston Ave
Tulsa, OK 74119
918-252-0585

Issue Date: November 15, 2021

Summary of Changes (includes but is not limited to):

- Added 2" raceway from Alternate Storage Building to Data Room.
- Fence changes to be included in PR #04. Excluded from this PR.
- Paving behind Alternate Storage Building to be included in PR #04. Excluded from this PR.

10/26/21

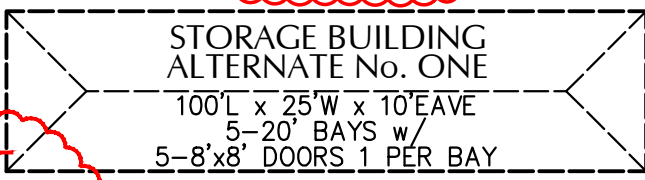
REMOVE EXISTING PAVING AND SUB-GRADE AS REQUIRED AND REPAVE. APPROX. AREA 3600 S.F.

NEW CHAIN LINK FENCE
P.L. 24'

P.L. 149.6'

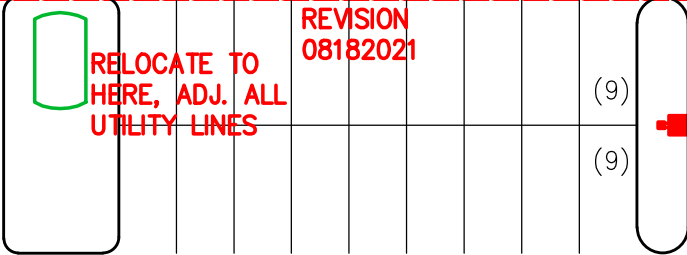
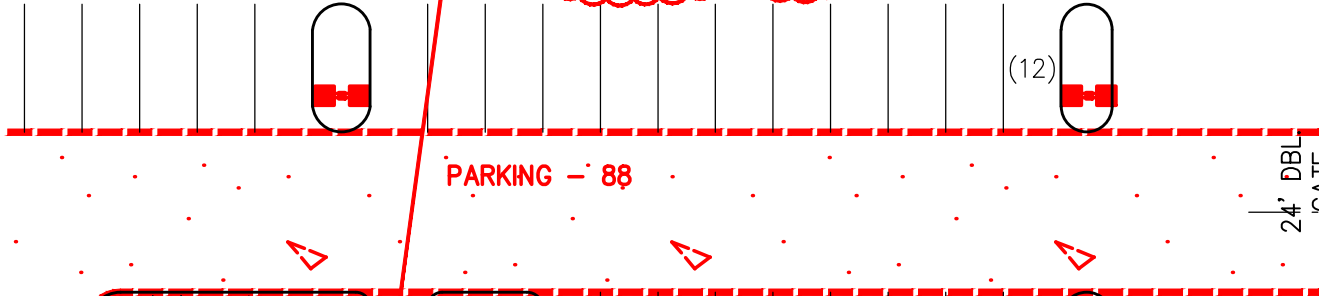
RE-PAVE THIS AREA

RELOCATE THIS LINE OF FENCE



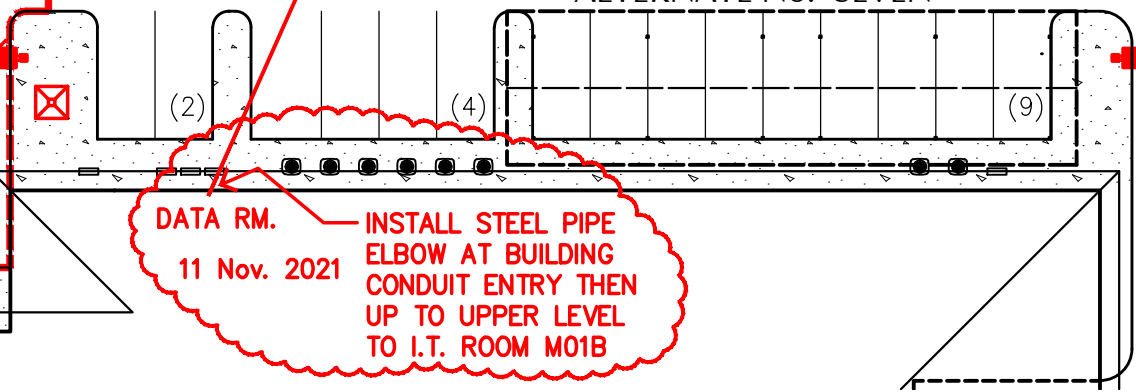
11 Nov. 2021
INSTALL STEEL PIPE ELBOW AT BUILDING CONDUIT ENTRY

INSTALL 2" PVC CONDUIT U.G. TO DATA ROOM



11 Nov. 2021
INSTALL 2" PVC CONDUIT U.G. TO DATA ROOM

COVERED PARKING ALTERNATE No. SEVEN



P I 360'

Proposal Request #04 : Fire Marshal Comment Changes

Project Name: Police and Fire Emergency Services Center
and City Library Additions for the City of
Pryor Creek
505 East Graham Avenue
Pryor Creek, OK 74361

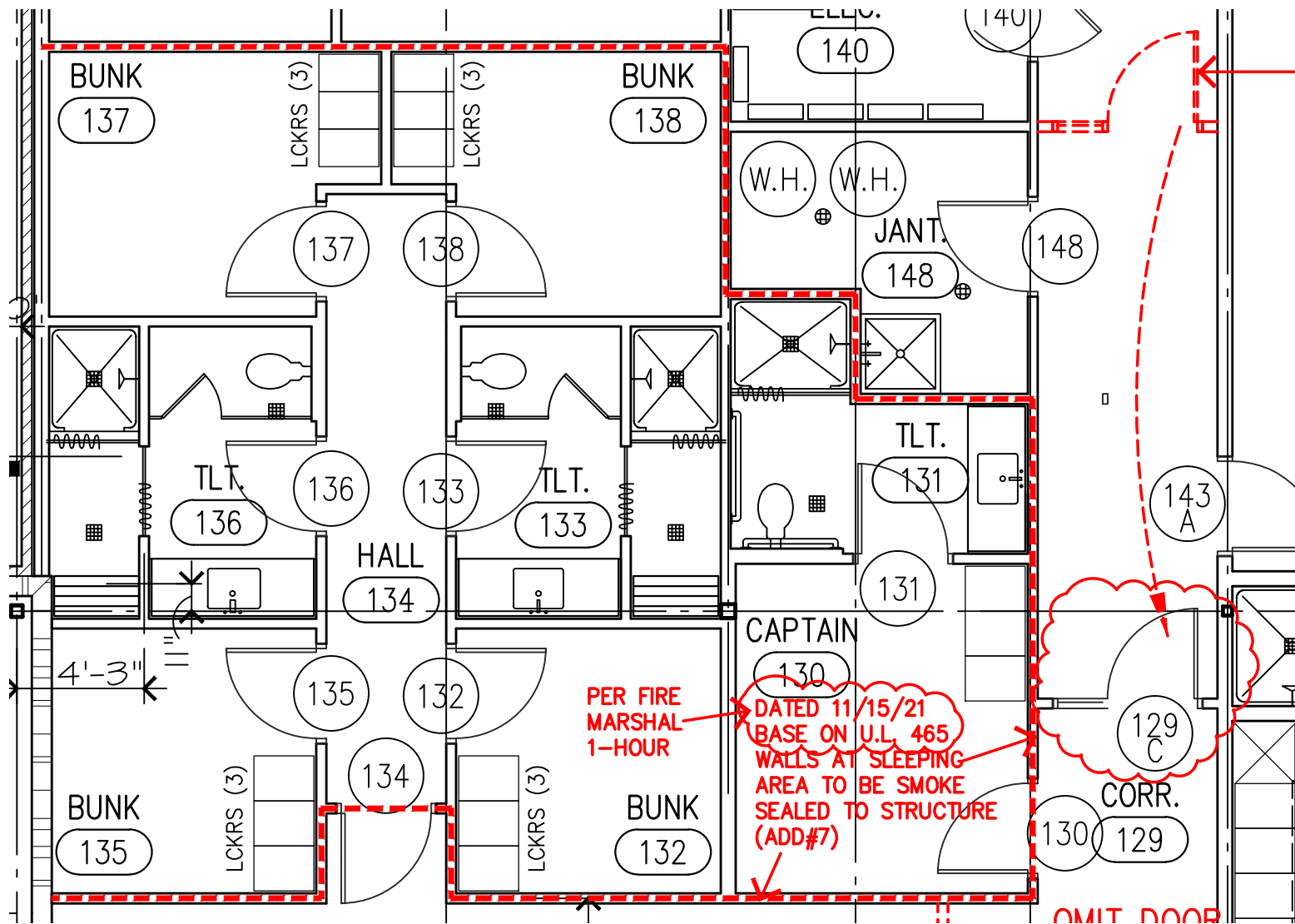
Architect: Graber and Associates
2415 East Skelly Drive, Suite 101
Tulsa, OK 74105-6076
918-747-8028

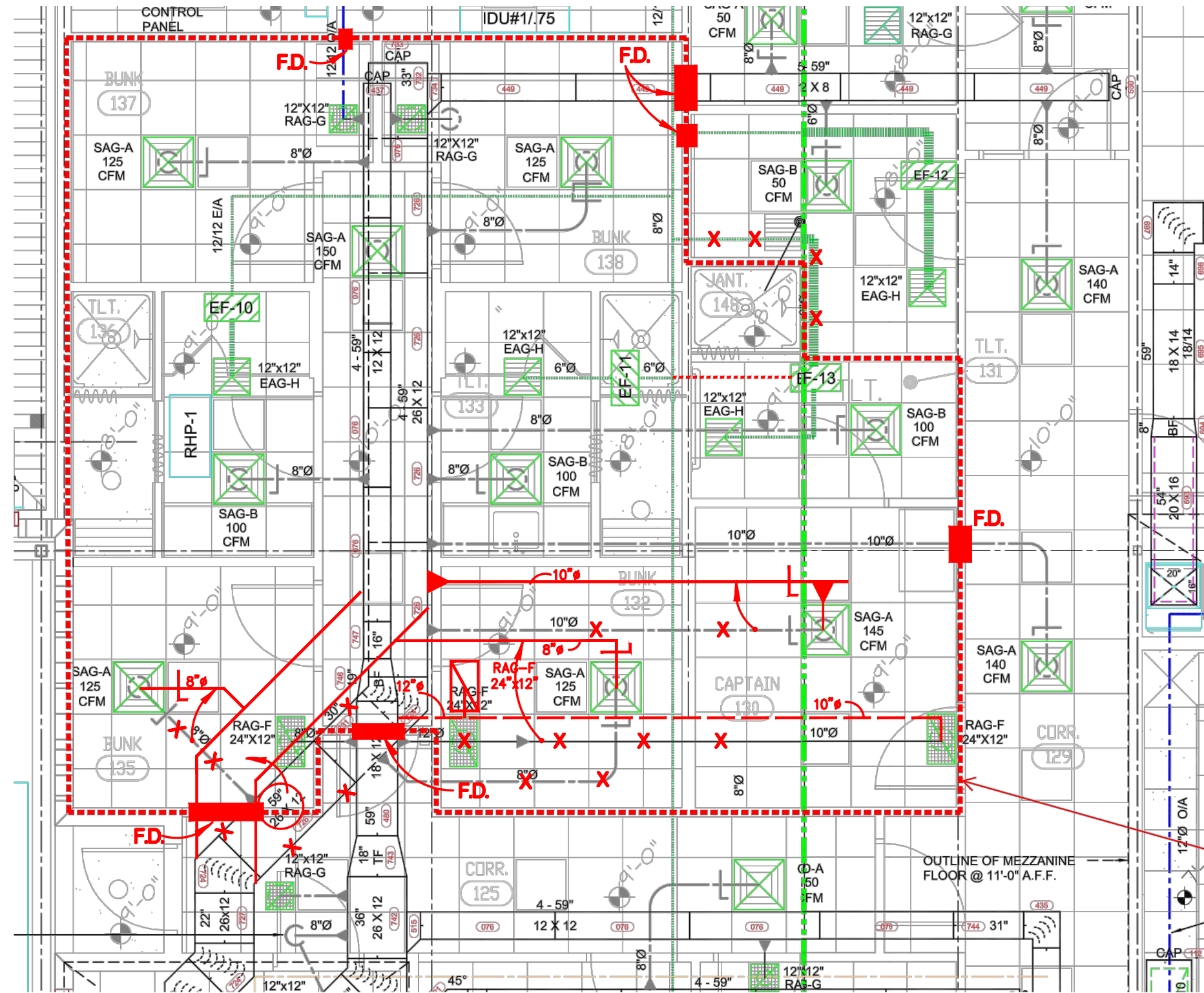
Construction Manager: CMSWillowbrook
1637 S. Boston Ave
Tulsa, OK 74119
918-252-0585

Issue Date: November 15, 2021

Summary of Changes (includes but is not limited to):

- Change smoke dampers in sleeping quarters to fire dampers.
- Changes to mechanical duct layout in sleeping quarters.
- Change ceiling from lay-in acoustical to drywall hard lid ceiling in Corridor 174, Booking 172B, and Property 173.
- Smoke seal ceiling to walls in rooms 172B, 173, 174, 175, 176, 177, 178A, 178B, 179, and 180.
- Excludes moving door 129C. This change to be included in a future Proposal Request.



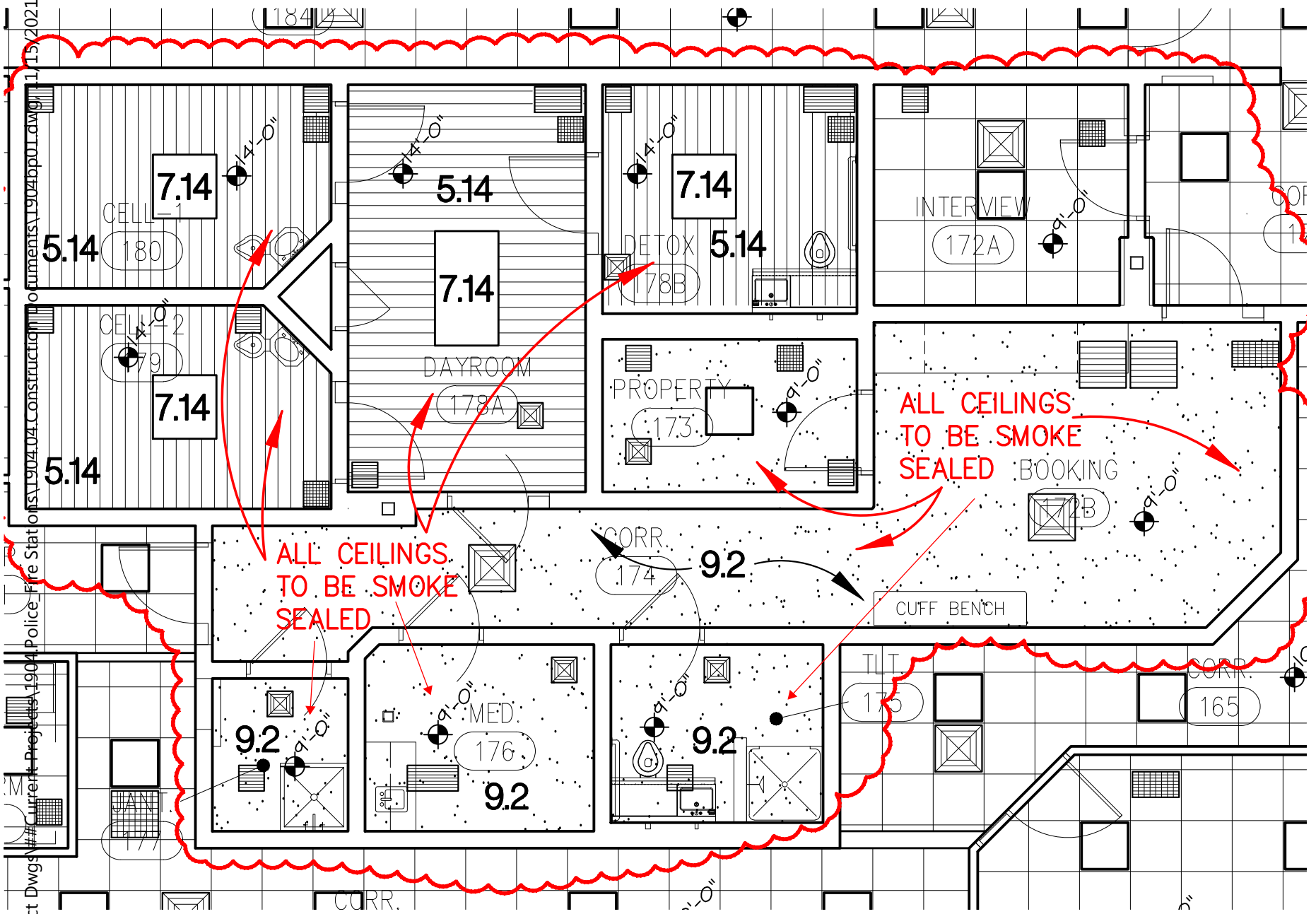


DATED: 11/15/21
STUD WALLS BASE ON U.L. 465
1 HOUR RATED

RATED SMOKE SEALED WALLS AROUND
SLEEPING AREA. WALLS GO TO
STRUCTURE AND SEALED PER
ADDENDUM.

1. SMOKE DAMPERS WERE NOT SHOWN ON DRAWINGS.
2. SHOW LOCATIONS OF REQUIRED SMOKE DAMPERS.
3. MODIFY DUCT RUNS WHERE POSSIBLE TO REDUCE TOTAL NUMBER OF DAMPERS

F.D. - FIRE DAMPER
~~SD~~ SMOKE DAMPER
LOCATIONS
(PER FIRE MARSHAL
DAMPERS TO BE
FIRE DAMPER IN LIEU
OF THE SMOKE DAMPERS)
DATE: 11/15/21



Proposal Request #05 : Misc. Changes Police/Fire

Project Name: Police and Fire Emergency Services Center
and City Library Additions for the City of
Pryor Creek
505 East Graham Avenue
Pryor Creek, OK 74361

Architect: Graber and Associates
2415 East Skelly Drive, Suite 101
Tulsa, OK 74105-6076
918-747-8028

Construction Manager: CMSWillowbrook
1637 S. Boston Ave
Tulsa, OK 74119
918-252-0585

Issue Date: December 8, 2021

Summary of Changes (includes but is not limited to):

Sheet AS2

- Delete wheel stops.
- Changes to fencing:
 - o Omit two 12' gates.
 - o Add two 3' man gates.
 - o Change section of fencing from chain link to wrought iron per drawing.
 - o Entry keypad at West gate.
 - o Automatic open sensor for exit at West gate.

- Change East gate from electric to manual.
- Extend fencing around new paved area behind storage building.
- Add three handicap parking spaces and three handicap parking signs.
- Do NOT relocate two light poles per AS2 as light pole bases are already installed.
- Delete two light pole bases, two single fixtures, associated conduit and wire. Fixtures already purchased and acquired so no credit will be given for two fixtures and poles. CMS to turn over two fixtures and poles to Owner at the end of the project.

Sheet A2.1

- Delete Door 111. Make cased opening.
- Delete Door 129B and adjacent wall.
- Move Door 129C North further down corridor per drawing.
- Reverse swing of door 172.
- Added steel ladder
- Cabinets and sink deleted in room 163 – Already priced. Do not include in pricing.
- Stud walls at breakroom 159 – Already priced. Do not include in pricing.
- Omit two windows in Booking 172B – Already priced. Do not include in pricing.
- Added counter in Booking 172B – Already priced. Do not include in pricing.

Sheet A2.3

- Pony walls already in contract per addendum 5.
- Add access panels in floor per updated drawing.

Sheet A5.1

- Add access panels in ceiling.

Sheet A8.1

- Add smoke partition to deck around detention area.

Sheet A11

- Revised cabinet elevations.
- Added subway tile backsplash to room 115.

Sheet B1

- Add power outlets to storage building.
- Add additional light fixtures to storage building.

Sheet E1.1

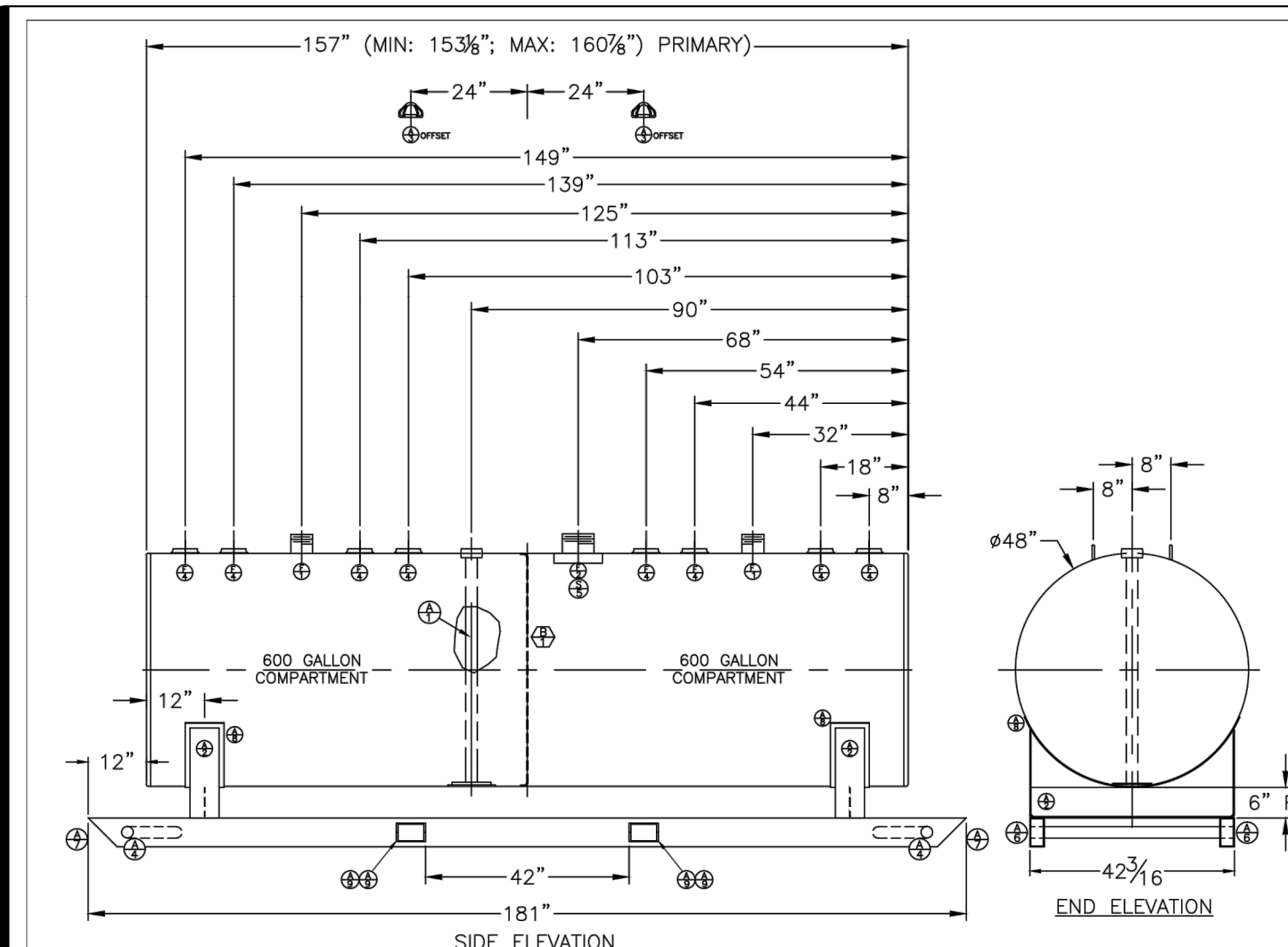
- Add power and data outlets, boxes, conduit, wiring, and drops. Provide coax cable to each TV location.

Sheet E3.1

- Added intercoms.
- Final camera locations to be provided at a later date by 3rd party camera installer.

Sheet P1.2

- Added water line and hose bibs.



BILL OF MATERIALS	
MARKING	DESCRIPTION
PRIMARY HEADS & SHELLS	
1	10 GA. SHEET 84" WIDE x 108" LONG
2	10 GA. SHEET 84" WIDE x 108" LONG
3	10 GA. SHEET 84" WIDE x 108" LONG
4	10 GA. SHEET 84" WIDE x 108" LONG
SECONDARY HEADS & SHELLS	
1	12 GA. SHEET 84" WIDE x 108" LONG
2	12 GA. SHEET 84" WIDE x 108" LONG
3	12 GA. SHEET 84" WIDE x 108" LONG
4	12 GA. SHEET 84" WIDE x 108" LONG
OTHER	
1	1/2" I.D. NIPPLE w/ 4" E. VENT. Rm. CABE. 0360-03-004F (2)
2	1/2" I.D. NIPPLE w/ 4" E. VENT. Rm. CABE. 0360-03-004F (2)
3	4" PUMP TANK FLANGE
APPENDICES	
DESCRIPTION	
1	MONITOR WELL - SEE DETAIL
2	4" U.S. AIR-SEAL DOOR
3	FRONTOUR UPON USE - SEE DETAIL
4	2" SCH 40 FULL BAW 40# U.S.
5	2" SCH 40 FULL BAW SUPPORT 1/4" LG
6	4" x 4" x 1/4" PLATE (SEE DETAIL)
7	2" x 1/4" x 1/4" PLATE (SEE DETAIL)
8	WEARING 1/2" x 1/4" WIDE x 24" LONG
9	1/2" x 1/4" x 1/4" PLATE (SEE DETAIL)

NOTES:

- TANK IS TO BE FABRICATED IN ACCORDANCE WITH U.S. 142, F-921, AND U.S. SPECIFICATIONS FOR TYPE 1 300" SECONDARY CONTAINMENT STORAGE TANKS. NO LABELS.
- AFTER COMPLETING PRIMARY TANK, TEST WITH 3 TO 5 PSIG AIR PRESSURE AND APPLY LEAK DETECTION SOLUTION TO ALL WELDS. REPAIR ANY LEAKS, AND RE-TEST.
- AFTER TESTING PRIMARY TANK, COMPLETE SECONDARY TANK AND APPLY 3 TO 5 PSIG AIR PRESSURE TO PRIMARY TANK AND HOLD WHILE MAINTAINING PRESSURE. RELEASE PRESSURE FROM PRIMARY TANK AND INSPECT SPACE (DO NOT APPLY DIRECT PRESSURE INTO ANULAR SPACE) AND APPLY LEAK DETECTION SOLUTION TO ALL WELDS. REPAIR ANY LEAKS, AND RE-TEST.
- TANK EXTERIOR IS TO BE PRIMED (1.5-2.5 MLS) & PAINTED WHITE (1.5-2.5 MLS).

EST WT = 2,500 LB
HALL TANK COMPANY
 1100 S. W. 11TH ST. OKLAHOMA CITY, OK 73101
 PHONE: (405) 944-1111
 FAX: (405) 944-1112
 WWW: WWW.HALLTANK.COM

APPROVAL DRAWING
 NOT FOR FABRICATION

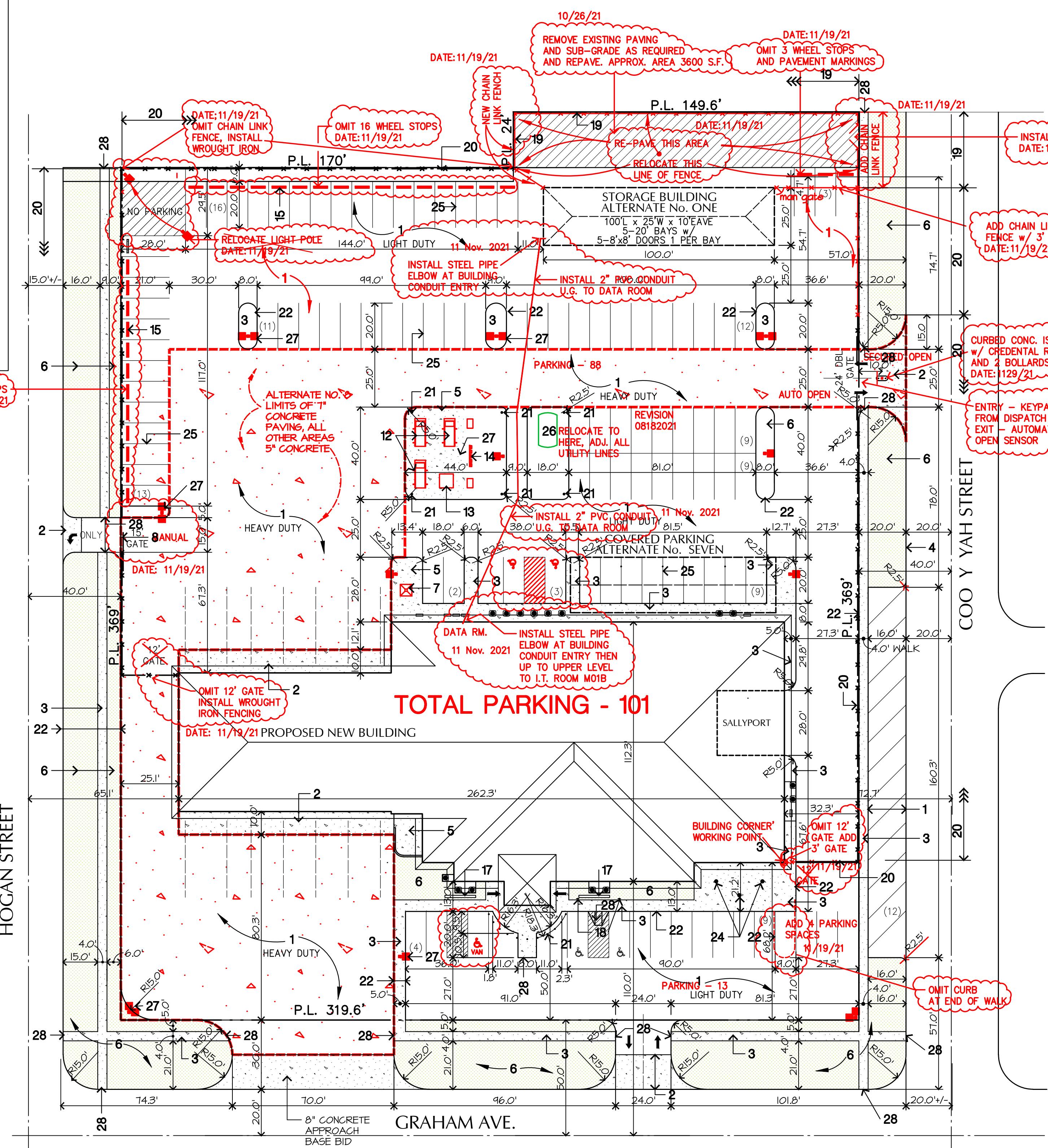
APPROVED AS SUBMITTED
 APPROVED AS MARKED
 CHANGE AND RE-SUBMIT FOR APPROVAL

SIGNATURE _____
 DATE _____

A FULL TANK SPECIFICATION SHEET

NO SCALE

- SITE PLAN KEYNOTES:**
- BASE BID PAVING ASPHALT, REFER TO SPEC'S. (ALT. NO. 8 - 7" CONCRETE REF. TO SPEC'S)
 - 7" CONC. APRON 10'-0" WIDE BASE BID.
 - 4" CONCRETE WALK.
 - CONCRETE CURB AND GUTTER.
 - 4" CONCRETE PAD.
 - GRASS AREA, TYPICAL-ALL DISTURBED AREAS NOT PAVED SHALL BE SODDED.
 - RADIO TOWER
 - 15' REMOTE OPENING SLIDING WROUGHT IRON GATE.
 - 25' DBL. SLIDING REMOTE SLIDING WROUGHT IRON GATE.
 - 20' DBL. SLIDING REMOTE SLIDING WROUGHT IRON GATE.
 - LIGHT DUTY ASPHALT PAVING REF. SPEC'S. ALTERNATE NO. 8 - 5" CONCRETE.
 - BACKUP GENERATORS, REF. SPEC'S
 - TRANSFORMER
 - AUTOMATIC TRANSFER SWITCH RAKE BY ELECTRICAL CONTRACTOR
 - PRE-CAST CONCRETE WHEEL STOPS, REFER DTL 3208-0003
 - NEW MANHOLE, REFER PLBG. PLANS.
 - BUILDING SIGN, REFER
 - HANDICAP SIGN - DTL. 3280-0005 & 0003
 - 6' HIGH CHAIN LINK PRIVACY FENCE, REF. SPEC'S. DTL. 3280-0001
 - 6' HIGH WROUGHT IRON FENCE AND GATES, REF. SPEC'S, DTL 3280-0001A
 - PIPE BOLLARDS AT FRONT ENTRY AND EACH SIDE OF OVERHEAD DOORS AND AS SHOWN.
 - CONCRETE CURB AND GUTTER, TYPICAL
 - MDP
 - FLAG POLES (3) REF. SPEC'S
 - PAVEMENT MARKINGS, REFER SPEC'S & DETAILS.
 - FUEL TANK
 - LIGHT POLE w/ FIXTURE/S
 - WALK & CURB TO BE FLUSH w/ PAVING PER ADA GUIDELINES.



- GENERAL SITE PLAN NOTES:**
- ALL CONTRACTORS SHALL REFER TO SPECIFICATIONS, AND DETAILS IN PROJECT MANUAL FOR ADDITIONAL INFORMATION AND ASSOCIATED DETAILING - WHETHER REFERENCED ON DRAWINGS OR NOT. EACH AND EVERY CONTRACTOR & SUBCONTRACTOR IS RESPONSIBLE FOR ALL DOCUMENTS PERTAINING TO OR RELATED TO HIS TRADE OR AREA OF WORK.
 - ALL CONTRACTORS WILL DISTINCTLY UNDERSTAND THAT THE WORK DESCRIBED IN THE SPECIFICATIONS & DRAWINGS SHALL BE A FINISHED AND WORKING JOB AND HE SHALL FULLY INFORM HIMSELF AS TO ITS CONSTRUCTION AND FINISH. AND IN CASE OF DOUBT, HE SHALL, IN NO CASE PROCEED WITH THE WORK WITHOUT FIRST OBTAINING FROM THE ARCHITECT'S OFFICE SUCH DIRECTIONS OR DRAWINGS AS MAY BE NECESSARY FOR THE PROPER EXECUTION OF THE WORK. IN NO WAY SHALL THESE ADDITIONAL DIRECTIONS OR DRAWINGS BE CAUSE FOR ADDITIONAL COST TO THE PROJECT. SHOULD THE CONTRACTOR FIND ERROR IN THE DRAWINGS, HE MUST AT ONCE REPORT SAME TO THE ARCHITECT'S OFFICE FOR CLARIFICATION PRIOR TO BIDDING.
 - IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST-CLASS WORK, OR SHOULD DISCREPANCIES APPEAR AMONG CONTRACT DOCUMENTS, CONTRACTOR(S) ARE TO REQUEST INTERPRETATION BEFORE BIDDING AND/OR PROCEEDING WITH WORK. IF CONTRACTOR(S) FAIL TO MAKE SUCH A REQUEST, NO EXCUSE WILL THEREFORE BE ENTERTAINED FOR FAILURE TO CARRY OUT WORK IN SATISFACTORY MANNER. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, CONTRACTOR(S) IS DEEMED TO HAVE ESTIMATED OUT THE MORE EXPENSIVE WAY OF DOING THE WORK UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED WRITTEN DECISION BEFORE SUBMISSION OF PROPOSAL AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
 - THESE "GENERAL NOTES", WHETHER IN COMBINATION WITH OR INDEPENDENT OF OTHER INFORMATION SHOWN ON THE PLANS, SPECIFIED IN THE SPECIFICATIONS OR INCLUDED IN ANY OF THE PROJECT MANUALS, OR "APPENDIX", MAY ALSO INCLUDE AND ESTABLISH REQUIREMENTS FOR THE GENERAL CONTRACTOR AND ALL EMPLOYEES, SUBCONTRACTORS, MATERIAL SUPPLIERS OR MANUFACTURERS AND THEIR AUTHORIZED REPRESENTATIVES WHO ARE INVOLVED ON THIS PROJECT FROM TIME TO TIME THROUGHOUT THE CONSTRUCTION PERIOD... UNTIL FINAL COMPLETION AND 100% ACCEPTANCE BY THE OWNER.
 - CONTRACTOR TO VERIFY EXISTING CONDITIONS AS TO THE CHARACTER AND EXTENT OF WORK INVOLVED INSTRUMENTS PROVIDED BY THIS OFFICE OR ITS AGENTS ARE FOR CONVENIENCE ONLY AND DO NOT CONSTITUTE A GUARANTEE OF ACCURACY. CONTRACTOR OBTAINING FIRST HAND INFORMATION AT THE SITE. SUBMISSION OF A BID SHALL CONSTITUTE ACCEPTANCE BY THE BIDDER OF CONDITIONS AS A PART OF THE REQUIREMENTS FOR THIS WORK, REFER TO BIDDING DOCUMENTS, SECTION B, INSTRUCTIONS TO BIDDERS, EXAMINATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY EXISTING ELEMENTS DAMAGED DURING THE CONSTRUCTION PROCESS. FAILURE TO DO SO SHALL DEEM CONSTRUCTION TO BE INCOMPLETE.
 - ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, THE MORE STRINGENT TO GOVERN. DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND CODES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
 - DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY, AND SITE OBSERVATION.
 - REFER TO DIVISION 02 IN ARCHITECTS SPECIFICATIONS AND GEO-TECH REPORT IF AVAILABLE FOR ADDITION INFORMATION FOR ESTABLISHING PROPER ROUGH AND FINISH GRADING.
 - CONTRACTORS ARE RESPONSIBLE FOR VISITING THE PROJECT SITE AND EXAMINING THE EXISTING FACILITIES PRIOR TO BIDDING.
 - CONTRACTORS SHALL NOTE ALL CONDITIONS AS TO CHARACTER AND EXTENT OF WORK INVOLVED PRIOR TO BIDDING, AND NOTIFY ARCHITECT'S OFFICE FOR CLARIFICATIONS.
 - CONTRACTOR TO VERIFY LOCATION OF UTILITY LINES PRIOR TO ANY EXCAVATION.
 - REMOVE OBSTRUCTIONS WITHIN WORK AREA TO A DEPTH OF THIRTY-SIX INCHES (36") IN AREAS UNDER EXISTING BUILDING, EXCAVATE 24" BELOW AREA OF NEW BUILDING, 5 FEET OUT FROM THE NEW BUILDING FOOTPRINT AND TO A DEPTH OF TWELVE INCHES (12") IN ALL OTHER AREAS OF SITE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE REMOVAL OF ALL EXISTING STRUCTURES ON THE SITE. THIS INCLUDES ALL EXISTING WALLS, FOOTINGS, FLOORS, PIERS, SLABS AND BASEMENTS. ALL BUILDINGS, TREES, BUSHES, SIGNS, RAILINGS, PAVING, SIDEWALKS, POSTS, CONCRETE CURBS ETC.
 - DO NOT REMOVE CITY LIGHTS, TRAFFIC SIGNAL OR DIRECTIONAL SIGNS, ETC FROM SITE. ADDENDUM #1.
 - DISPOSE OF DEBRIS FROM SITE.

PLAN NORTH
 TRUE NORTH

1"=30'

JAMES GRABER
 1120
 TULSA, OKLAHOMA
 12/14/20

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 2415 EAST SKELLY DRIVE - SUITE 101
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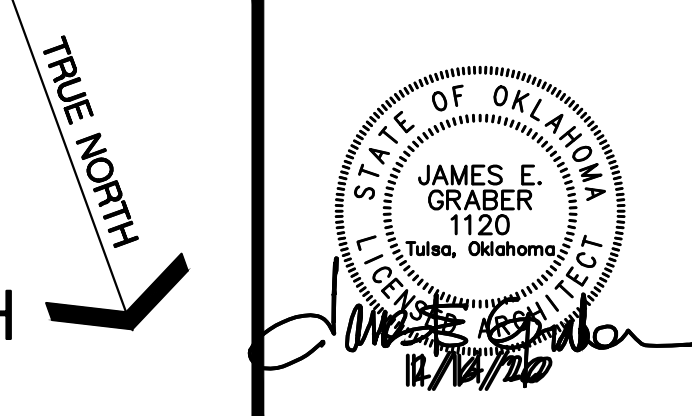
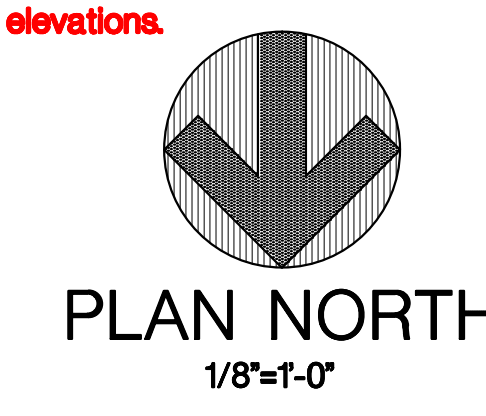
PROJECT NO.: 1904
 DATE ISSUED: December 14, 2020
 DRAWN BY:
 REVISIONS:
 08 SEPT. 2021
 19 Oct. 2021
 26 Oct. 2021
 19 Nov. 2021
 29 Nov. 2021

SITE PLAN

AS2
 x of x

- 3.1 CONCRETE CONTINUOUS FOOTING, REF. STRUCT. DWGS.
- 3.2 CONCRETE COLUMN FOOTING, REF. STRUCT. DWGS.
- 3.3 CONCRETE THICKENED SLAB, REF. STRUCT. DWGS.
- 3.4 CONCRETE FLOOR SLAB, REF. STRUCT. DWGS.
- 3.5 GRANULAR CUSHION FILL, REF. STRUCT. DWGS.
- 3.6 EXPOSED CONCRETE, HAND RUBBED.
- 3.7 CONCRETE SLAB OVER METAL DECK, REF. STRUCT. DWGS.
- 3.8 4" CONCRETE PAD AT CONDENSING UNITS, SIZE AS REQUIRED FOR UNITS.
- 3.9 EXPANSION JOINT FILLER AT JOINT.
- 3.10 REIN. CONC. SLAB, REFER STRUCT. DWGS.
- 4.1 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (RED)
- 4.2 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (WHITE)
- 4.3 BRICK ROUNDS COURSE
- 4.4 BRICK SOLDIER COURSE
- 4.5 CMU WALL INSULATION, WHERE R.B. DOES NOT OCCUR.
- 4.6 CONCRETE MASONRY UNIT (CMU) STANDARD 16" x 8" x 8", SMOOTH FACE, PAINT
- 4.7 MASONRY BOND BEAM, CONTINUOUS w/ 2-#5 R.B. AND GROUT FILLED FULL.
- 4.8 MASONRY UNITS, REFER TO UNITS SCHEDULE.
- 4.9 VERTICAL R.B. WALL REINFORCING, GROUT FULL HEIGHT, REFER PLANS & SCHEDULE, MINIMUM # @ 32" O.C., TYPICAL, REF. STRUCT.
- 4.10 THRU WALL FLASHING
- 4.11 CONTROL JOINT w/ BACKER ROD & SEALANT
- 4.12 WEEP HOLES AT 32" O.C.
- 5.1 COLUMN, STEEL, REFER FRAMING PLANS
- 5.2 BEAM, STEEL, REFER FRAMING PLANS
- 5.3 CHANNEL, STEEL, REFER TO FRAMING PLANS
- 5.4 ANGLE, STEEL, REFER TO FRAMING PLANS AND DETAILS
- 5.5 STEEL JOIST @ 5'-0" O.C.
- 5.6 FLOOR DECK, METAL, REFER FRAMING PLANS
- 5.7 ROOF DECK, METAL, REFER TO FRAMING PLANS
- 5.8 STAR, STEEL PAN, CONCRETE FILLED, PAINT
- 5.9 BRICK ANGLE UNITS, REFER TO UNITS SCHEDULE
- 5.10 DOWNSPOUT FOOT RE: 0550-0052
- 5.11 HANDRAIL, STEEL, REFER TO FRAMING PLANS
- 5.12 STEEL LADDER, REFER 0550-0002
- 5.13 STEEL TUBE, REF. TO STRUCTURAL DWGS.
- 5.14 1" STEEL DECK CEILING PANELS ON LT CAUSE METAL FRAMING RE TO STRUCT. DWGS A/52.4
- 5.15 PIPE HULLING, 4" STEEL PIPE, CONCRETE FILLED, REF. 0550-0022, TYP. BOTH SIDES OF OVERHEAD DOORS AND AS SHOWN ON PLANS.
- 6.1 2x CONTINUOUS WOOD BLOCKING AS REQUIRED, ANCHOR TO ROOF DECK AT 24" O.C.
- 6.2 WINDOW SILL, SOLID SURFACE, 3/4" PROJECTION OUT FROM FACE OF WALL, TYPICAL AT ALL WINDOWS AT EXTERIOR WALLS.
- 6.3 BASE CABINET
- 6.4 WALL CABINET
- 6.5 SOLID SURFACE COUNTER TOP AND SPLASH
- 6.6 SOLID SURFACE COUNTER TOP AND SPLASH.
- 7.1 LINE OF ROOF OR FLOOR OVERHANG
- 7.2 ASPHALT SHINGLE ROOFING OVER BLDG. FELT AND 2" PLYWOOD SHEATHING BOARD.
- 7.3 4" SOUND BATT INSULATION OVER CEILING.
- 7.4 NOT USED
- 7.5 2 1/2" POLYISOCYANURATE INSULATION OVER 1/2" PERLITE BOARD.
- 7.6 METAL SOFFIT, OVER METAL STUD FRAMING, REF. SPECS.
- 7.7 BATT INSULATION
- 7.8 FASCIA, SHEET METAL, PRE-FINISHED
- 7.9 FOUNDATION FORMER INSULATION
- 7.10 FIRE STOP (REFRESHING)
- 7.11 CONTROL JOINT, SEALANT w/ BACKER ROD
- 7.12 PREPRESSED METAL LOCKERS w/ BRD SCREEN
- 7.13 5/8" BONDGLASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
- 7.14 SKYLIGHT, REFER SPECIFICATIONS
- 7.15 FLASHING, SHEET METAL, PRE-FINISHED
- 7.16 SHEET FASCIA & METAL CUTTER, PRE-FINISHED
- 7.17 SHEET METAL DOWNSPOUT, PRE-FINISH, PROPOSED LOCATION AS REQUIRED w/ CAST IRON ROOT AND CONC. SPASH BLOCK
- 7.18 METAL ROOF AT DORMER
- 7.19 ALUMINUM LOUVER VENT AT DORMER, PRE-FINISHED.
- 7.20 2" PERLITE BOARD.
- 8.1 DOOR & FRAME, REFER PLANS & SCHEDULES.
- 8.2 WINDOW STOREFRONT WINDOW
- 8.3 ALUMINUM STOREFRONT, REFER. SPECS
- 8.4 ALUMINUM BREAK METAL, COLOR & FINISH TO MATCH WINDOW.
- 8.5 ALUMINUM DORMER WINDOW
- 8.6 HOLLOW METAL WINDOW FRAME, PAINT
- 8.7 ALUMINUM BREAK METAL
- 8.8 UPWARD ACTING SECTION DOOR, REF. SCHEDULE & SPECS.
- 8.9 ALUMINUM WINDOW, REFER SCHEDULE & SPECS.
- 8.10 ALUMINUM BREAK METAL WINDOW SILL, REFER-FINISHED
- 9.1 LINE OF CHANGE IN CEILING HEIGHT.
- 9.2 5/8" FIRE CODE GYPSUM WALL/CEILING BOARD, PAINT
- 9.3 3/4" G.I.F.S. OVER BONDGLASS SHEATHING, REF. PART TYP.
- 9.4 SURFACED ACOUSTICAL CEILING
- 9.5 METAL STUD FRAMING AT 16" O.C., REFER SCHEDULE & SPECS
- 9.6 RUBBER BASE, REFER FINISH PLAN
- 9.7 METAL CEILING SUSPENSION SYSTEM
- 9.8 5/8" BONDGLASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
- 9.9 EXPOSED STRUCTURE
- 9.10 METAL STUD BRACING TO STRUCTURE
- 9.11 CLASS FIBER REINFORCED GYPSUM COLUMN COVER
- 9.12 FURR DOWN OVER WALL CABINETS, 5/8" GYP. BD. ON METAL STUD FRAMING @ 24" O.C.
- 9.13 CERAMIC TILE MANSOOT, REFER FINISH PLAN & DETAILS
- 9.14 METAL STUD BOX HEADER
- 10.1 FIRE EXTINGUISHER & CABINET
- 10.2 TOILET PARTITION
- 10.3 URINAL SCREEN
- 10.4 LOCKER, REFER SPECIFICATIONS
- 10.5 MIRROR
- 10.6 GRAB BARS (ADA COMPLIANT)
- 10.7 SHOWER CURTAIN & ROD
- 10.8 FOLD DOWN SHOWER SEAT, REFER. SPECS
- 10.9 METAL LOCKER, REFER. SPECS
- 11.1 REFRIGERATOR, FULL HEIGHT w/ ICE MKR., REFER. SPECS
- 11.2 REFRIGERATOR, UNDER COUNTER, REFER. SPECS
- 11.3 OVEN/RANGE, REFER. SPECS
- 11.4 EXHAUST HOOD, REFER. SPECS
- 11.5 GARBAGE DISPOSAL, REFER. SPECS
- 11.6 DISHWASHER, REFER. SPECS
- 11.7 MICROWAVE OVEN, REFER. SPECS
- 11.8 BENCH SEAT, REFER. SPECS
- 11.9 WASHER, REFER. SPECS
- 11.10 DRYER, REFER. SPECS
- 11.11 GUN LOCKER, REFER. SPECS
- 11.12 BUNK BED, REFER. SPECS
- 11.13 STEEL HANDCUP BENCH, REFER. SPECS
- 11.14 MEDICINE CABINET, DETENTION GRADE, REFER. SPECS
- 11.15 STEEL SHELVING, BY OTHERS
- 11.16 COLE, REFER. SPECS
- 11.17 EVIDENCE CABINETS, BY OTHERS
- 11.18 EVIDENCE PROCESSING TABLE
- 11.19 BOOKING TABLE
- 12.1 BLINDS
- 12.2 BASE CABINET, PLASTIC LAMINATE
- 12.3 WALL CABINET, PLASTIC LAMINATE
- 12.4 STORAGE SHELVING, PLASTIC LAMINATE
- 12.5 COUNTERTOP, PLASTIC LAMINATE
- 12.6 STORAGE CABINET, PLASTIC LAMINATE
- 22.1 WATERCLOSET
- 22.2 URINAL
- 22.3 LAVATORY, BOTTOM MTD., REF. SCHED.
- 22.4 LAVATORY, WALL MOUNTED
- 22.5 MSB SERVICE BASIN
- 22.6 ELECTRIC WATER COOLER
- 22.7 FLOOR DRAIN
- 22.8 FLOOR SINK
- 22.9 WATER HEATER
- 22.10 SINK, REFER PLUMBING SCHEDULE
- 22.11 WASHER
- 22.12 SHOWER HEAD
- 23.1 FURNACE UNIT
- 23.2 FURNACE UNIT, HORIZONTAL ABOVE CEILING
- 23.3 CONDENSING UNIT
- 23.4 CEILING DIFFUSER
- 23.5 SIDEWALL DIFFUSER
- 23.6 RETURN AIR GRILLE
- 23.7 EXHAUST GRILLE
- 23.8 SUPPLY AIR DUCT
- 23.9 RETURN AIR DUCT
- 23.10 OUTSIDE AIR LOUVER w/ FLANGE
- 23.11 ROOF TOP UNIT ON ROOF CURB
- 23.12 LINEAR CEILING DIFFUSER
- 26.1 MAIN DISTRIBUTION PANEL
- 26.2 ELECTRICAL SUB-PANEL
- 26.3 LIGHT FIXTURE, RECESSED, LAY-IN
- 26.4 LIGHT FIXTURE, PENDANT
- 26.5 LIGHT FIXTURE, SURFACE MOUNTED
- 26.6 EXT LIGHT
- 26.7 LIGHT FIXTURE, RECESSED CAN
- 31.1 LINE OF EXISTING GRADE
- 31.2 LINE OF FINISH GRADE
- 32.1 4" CONCRETE WALK

Alternate Notes:
 1 Refer to Specifications and Sheets A14.1-14.3 for details of cabinets and lockers.
 2 Refer to Specifications and Sheet A12 for window wall elevations.



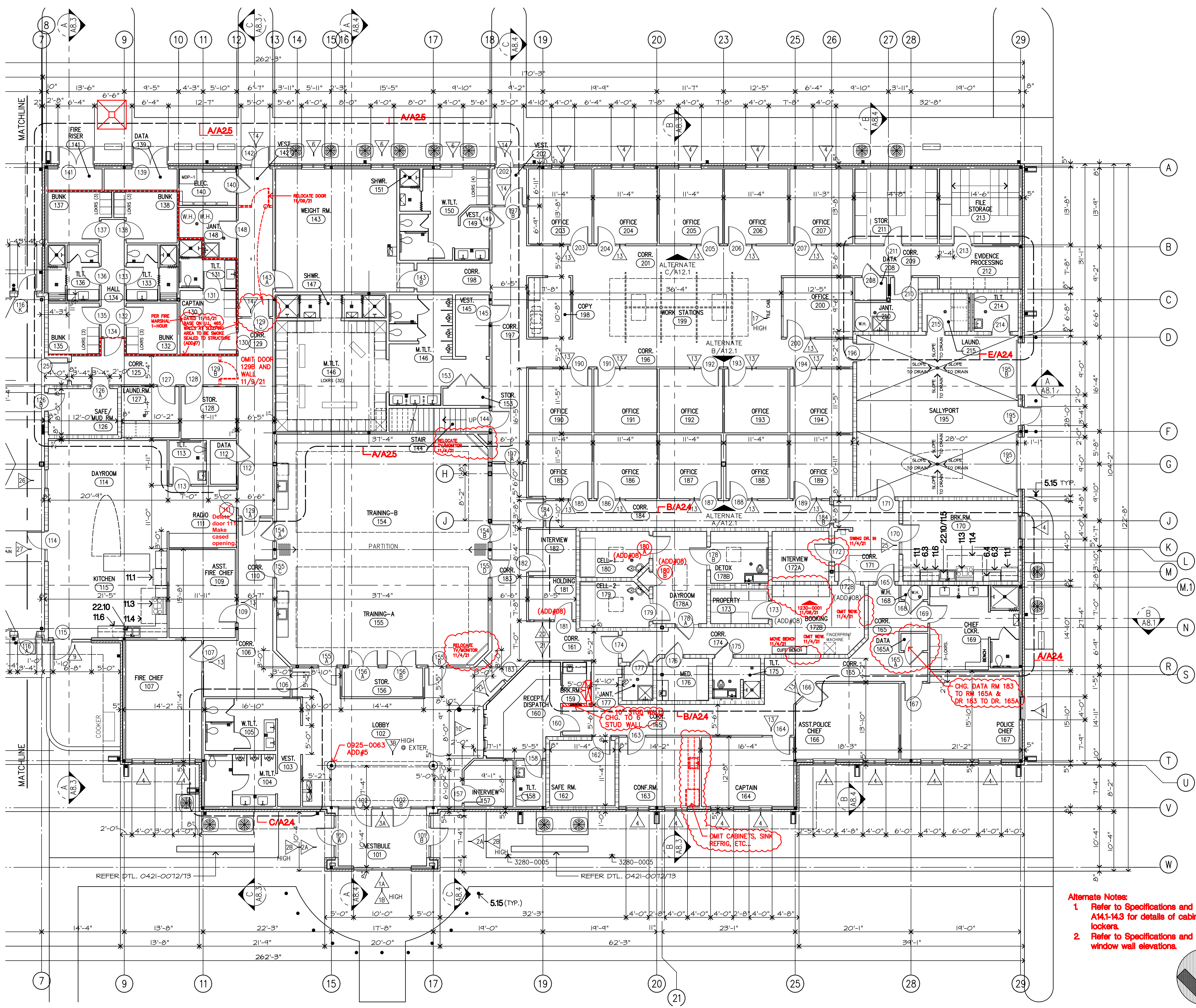
GRABER & ASSOCIATES, PC
 2415 EAST SKELLY DRIVE - SUITE 101
 TULSA, OKLAHOMA 74105-6076
 918 - 747 - 8028 - FAX 1-866-927-0456

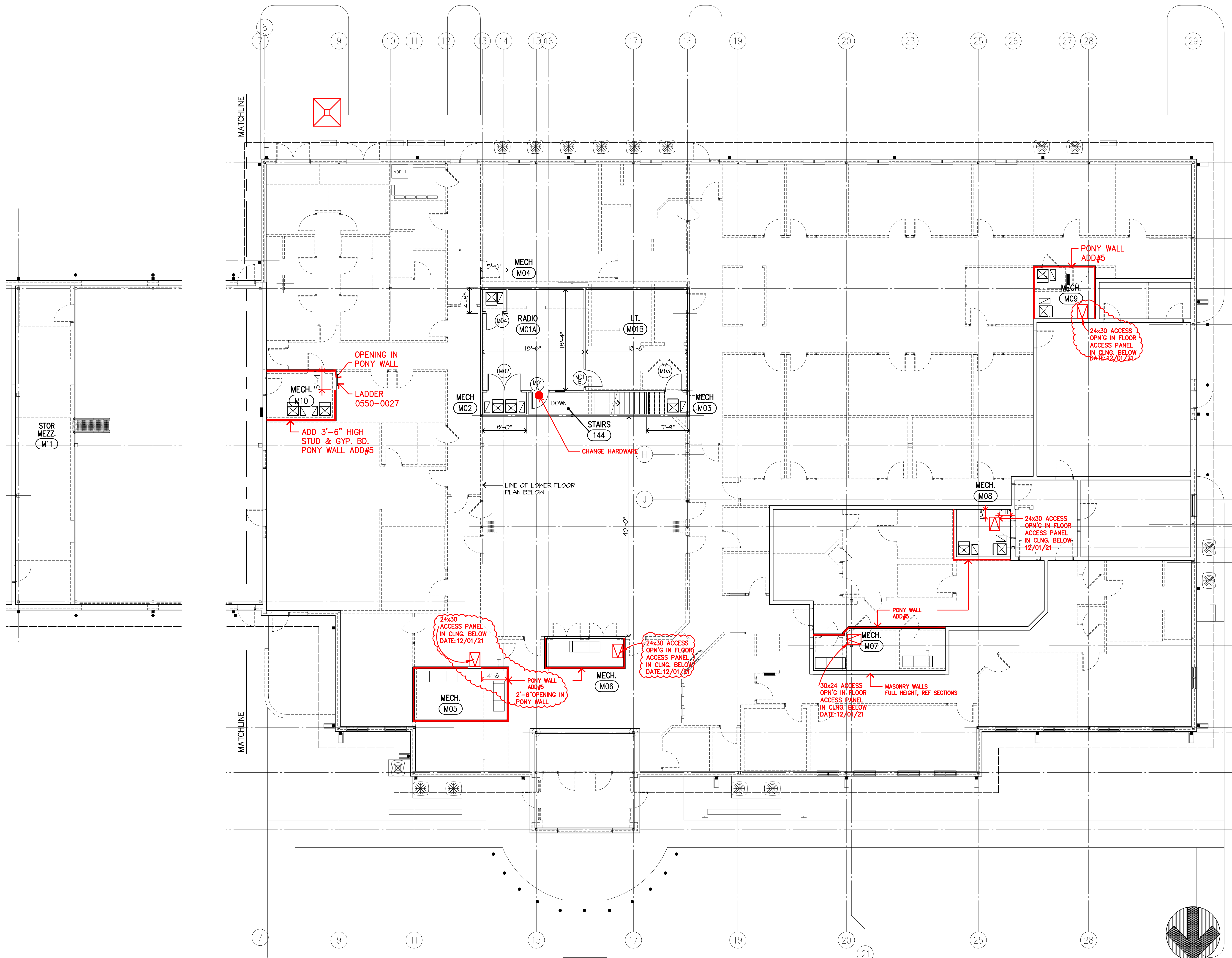
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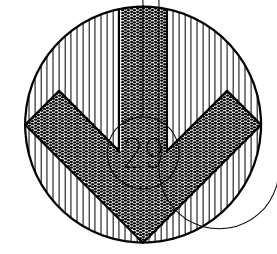
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 DRAWN BY:
 REVISIONS:
 MAY 3, 2021
 Nov. 23, 2021
 Nov. 29, 2021

PARTIAL FLOOR PLAN

A2.1
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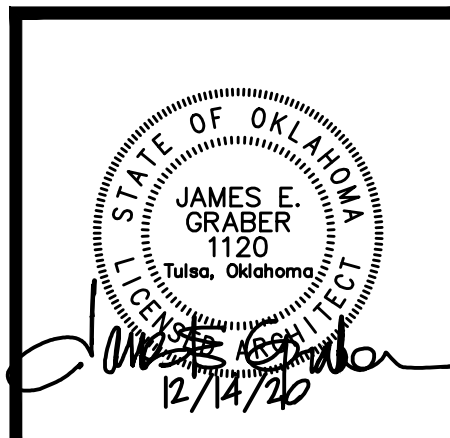






 PLAN NORTH

 1/8"=1'-0"



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A2.3 of

UPPER FLOOR PLANS

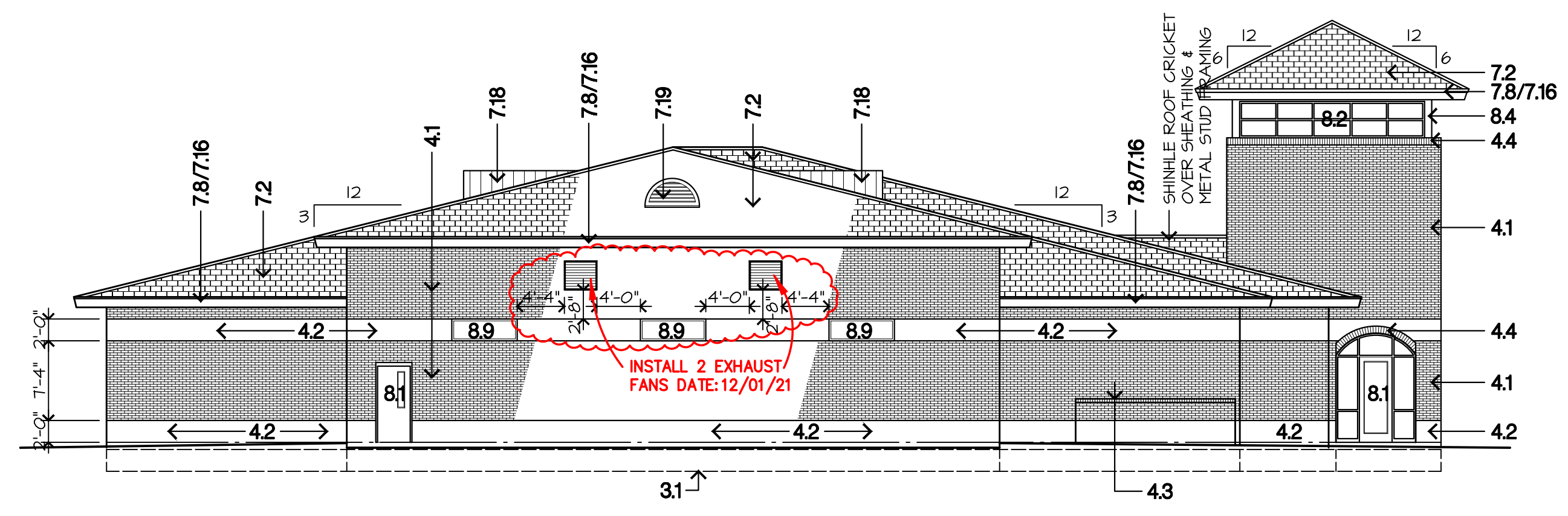
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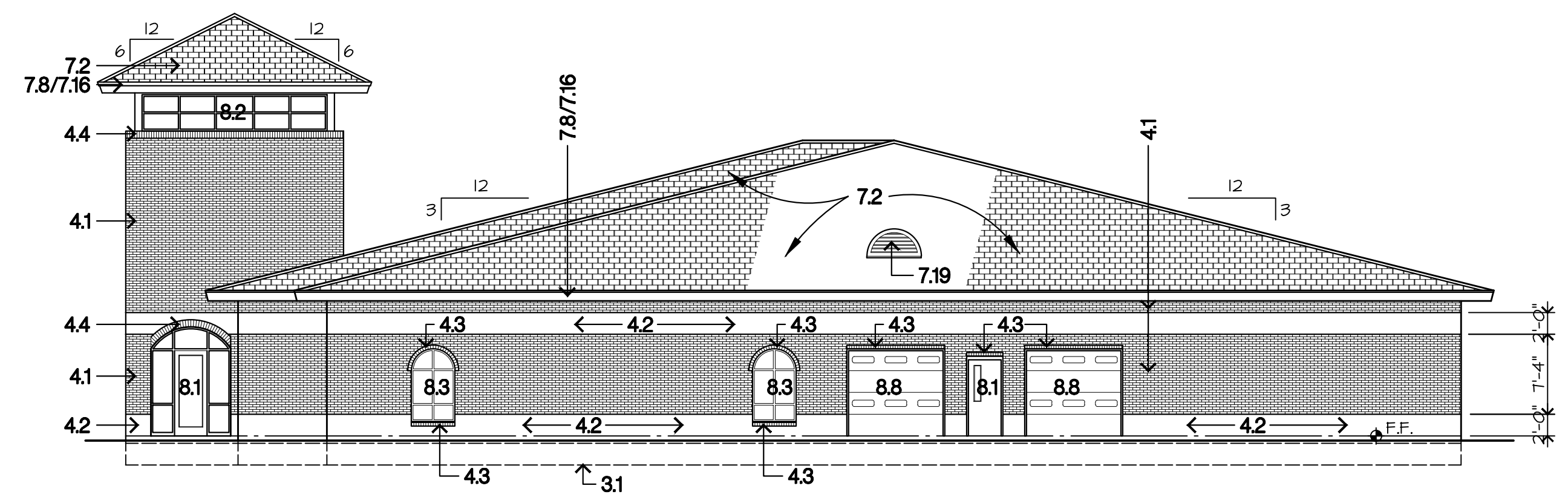
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 2415 EAST SKELLY DRIVE - SUITE 101
 TULSA, OKLAHOMA 74105-6076
 918 - 747 - 8028 - FAX 1-866-927-0456

- 3.1 CONCRETE CONTINUOUS FOOTING, REF. STRUCT. DWGS.
- 3.2 CONCRETE COLUMN FOOTING, REF. STRUCT. DWGS.
- 3.3 CONCRETE THICKENED SLAB, REF. STRUCT. DWGS.
- 3.4 CONCRETE FLOOR SLAB, REF. STRUCT. DWGS.
- 3.5 GRANULAR CUSHION FILL, REF. STRUCT. DWGS.
- 3.6 EXPOSED CONCRETE, HAND RUBBED
- 3.7 CONCRETE SLAB OVER METAL DECK, REF. STRUCT. DWGS.
- 3.8 4" CONCRETE PAD AT CONDENSING UNITS, SIZE AS REQUIRED FOR UNITS.
- 3.9 EXPANSION JOINT FILLER AT JOINT.
- 3.10 REIN. CONC. SLAB, REFER STRUCT. DWGS.
- 4.1 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (RED)
- 4.2 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (WHITE)
- 4.3 BRICK RAINLICK COURSE
- 4.4 BRICK SOLDIER COURSE
- 4.5 CMU WALL INSULATION, WHERE R.B. DOES NOT OCCUR.
- 4.6 CONCRETE MASONRY UNIT (CMU) STANDARD 16"X24"
- 4.7 MASONRY BOND BEAM, CONTINUOUS w/ 2-#5 R.B. AND GROUT FILLED FULL.
- 4.8 MASONRY UNITS, REFER TO UNITS SCHEDULE.
- 4.9 VERTICAL R.B. WALL REINFORCING, GROUT FULL HEIGHT, REFER PLANS & SCHEDULE, MINIMUM # @ 32" O.C., TYPICAL, REF. STRUCT.
- 4.10 THRU WALL FLASHING
- 4.11 CONTROL JOINT w/ BACKER ROD & SEALANT
- 4.12 WEEP HOLES AT 32" O.C.
- 5.1 COLUMN, STEEL, REFER FRAMING PLANS
- 5.2 BEAM, STEEL, REFER TO FRAMING PLANS
- 5.3 CHANNEL, STEEL, REFER TO FRAMING PLANS
- 5.4 ANGLE, STEEL, REFER TO FRAMING PLANS AND DETAILS
- 5.5 STEEL JOIST @ 5'-0" O.C.
- 5.6 FLOOR DECK, METAL, REFER FRAMING PLANS
- 5.7 ROOF DECK, METAL, REFER TO FRAMING PLANS
- 5.8 STAIR, STEEL PAN, CONCRETE FILLED, PAINT
- 5.9 BRICK ANGLE UNITS, REFER TO UNITS SCHEDULE
- 5.10 DOWNSPOUT BOOT RE: 0550-0022
- 5.11 HANDRAIL, STEEL w/ WALL BRACKET
- 5.12 STEEL LADDER, REFER 0550-0002
- 5.13 STEEL TUBE, REF. TO STRUCTURAL DWGS.
- 5.14 1" STEEL DECK CEILING PANELS ON LT GAUGE METAL FRAMING, REF. TO STRUCT. DWG AS/2.4
- 5.15 PIPE COLLARS w/ STEEL PIPE, CONCRETE FILLED, REF. 0550-0022, TYP. BOTH SIDES OF OVERHEAD DOORS AND AS SHOWN ON PLANS.
- 6.1 2x CONTINUOUS WOOD BLOCKING AS REQUIRED, ANCHOR TO ROOF DECK AT 24" O.C.
- 6.2 WINDOW SILL, SOLID SURFACE, 3/4" PROJECTION OUT FROM FACE OF WALL, TYPICAL AT ALL WINDOWS AT EXTERIOR WALLS.
- 6.3 BASE CABINET
- 6.4 WALL CABINET
- 6.5 SOLID SURFACE COUNTER TOP AND SPLASH
- 6.6 SOLID SURFACE COUNTER TOP AND SPLASH
- 7.1 LINE OF ROOF OR FLOOR OVERHANG
- 7.2 ASPHALT SHINGLE ROOFING OVER BLDG. FLDG. AND 2" PLYWOOD SHEATHING BOARD.
- 7.3 4" SOUND BATT INSULATION OVER CEILING
- 7.4 NOT USED
- 7.5 2 1/2" POLYISOCYANURATE INSULATION OVER 1/2" PERLITE BOARD.
- 7.6 METAL SOFFIT, OVER METAL STUD FRAMING, REF. SPECS.
- 7.7 BATT INSULATION
- 7.8 FASCIA, SHEET METAL, PRE-FINISHED
- 7.9 FOUNDATION FRAMER INSULATION
- 7.10 FIRE STOP (FRESHFAB)
- 7.11 CONTROL JOINT, SEALANT w/ BACKER ROD
- 7.12 PRE-FINISHED METAL LOCKERS w/ BRD SCREEN
- 7.13 5/8" DENGLASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS
- 7.14 SKYLIGHT, REFER SPECIFICATIONS
- 7.15 FLASHING, SHEET METAL, PRE-FINISHED
- 7.16 FLASHING, FASCIA & METAL GUTTER, PRE-FINISHED
- 7.17 SHEET METAL DOWNSPOUT, PRE-FINISH, PROPOSED LOCATION AS REQUIRED w/ CAST ROOF AND CONC. SPASH BLOCK
- 7.18 METAL ROOF AT DORMER
- 7.19 ALUMINUM LOUVER VENT AT DORMER, PRE-FINISHED
- 7.20 2" PERLITE BOARD.
- 8.1 DOOR & FRAME, REFER PLANS & SCHEDULES.
- 8.2 WINDOW STOREFRONT WINDOW
- 8.3 ALUMINUM STOREFRONT, REF. SPECS
- 8.4 ALUMINUM BREAK METAL, COLOR & FINISH TO MATCH WINDOW.
- 8.5 ALUMINUM DORMER WINDOW
- 8.6 HOLLOW METAL WINDOW FRAME, PAINT
- 8.7 ALUMINUM BREAK METAL
- 8.8 UPWARD ACTING SECTION DOOR, REF. SCHEDULE & SPECS.
- 8.9 ALUMINUM WINDOW, REFER SCHEDULE & SPECS.
- 8.10 ALUMINUM BREAK METAL WINDOW SILL, REF-FINISHED
- 9.1 LINE OF CHANGE IN CEILING HEIGHT
- 9.2 5/8" FIRE CODE CYPRESS WALL/CEILING BOARD, PAINT
- 9.3 3/4" E.L.F.S. OVER DENGLASS SHEATHING, REF. PART 2
- 9.4 SUPERFACED ACOUSTICAL CEILING
- 9.5 METAL STUD FRAMING AT 16" O.C., REFER PARTITION TYPES
- 9.6 RUBBER BASE, REFER FINISH PLAN
- 9.7 METAL CEILING SUSPENSION SYSTEM
- 9.8 5/8" DENGLASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
- 9.9 EXPOSED STRUCTURE
- 9.10 METAL STUD BRACING TO STRUCTURE
- 9.11 GLASS FIBER REINFORCED CYPRESS COLUMN COVER
- 9.12 FURR DOWN OVER WALL CABINETS, 5/8" CYP. BD. ON METAL STUD FRAMING @ 24" O.C.
- 9.13 PORCELAIN TILE MANSICOT, REFER FINISH PLAN & DETAILS
- 9.14 METAL STUD BOX HEADER
- 10.1 FIRE EXTINGUISHER & CABINET
- 10.2 TOILET PARTITION
- 10.3 URINAL SCREEN
- 10.4 LOCKER, REFER SPECIFICATIONS
- 10.5 MIRROR
- 10.6 GRAB BARS (ADA COMPLIANT)
- 10.7 SHOWER CURTAIN & ROD
- 10.8 FOLD DOWN SHOWER SEAT, REF. SPECS
- 10.9 METAL LOCKER, REF. SPECS
- 10.11 REFRIGERATOR, FULL HEIGHT w/ ICE MGR., REF. SPECS
- 10.12 REFRIGERATOR, UNDER COUNTER, REF. SPECS
- 10.13 OVEN/RANGE, REF. SPECS
- 10.14 EXHAUST HOOD, REF. SPECS
- 10.15 GARBAGE DISPOSAL, REF. SPECS
- 10.16 DISHWASHER, REF. SPECS
- 10.17 MICROWAVE OVEN, REF. SPECS
- 10.18 BENCH SEAT, REF. SPECS
- 10.19 WASHER, REF. SPECS
- 10.20 DRYER, REF. SPECS
- 10.21 GUN LOCKER, REF. SPECS
- 10.22 BUNK BED, REF. SPECS
- 10.23 STEEL HANDCUFF BENCH, REF. SPECS
- 10.24 MEDICINE CABINET, DETENTION GRADE, REF. SPECS
- 10.25 STEEL SHELVING, BY OTHERS
- 10.26 COTE, REF. SPECS
- 10.27 EVIDENCE CABINETS, BY OTHERS
- 10.28 EVIDENCE PROCESSING TABLE
- 10.29 BOOKING TABLE
- 10.30 BUNK BED, REF. SPECS
- 10.31 REFRIGERATOR, FULL HEIGHT w/ ICE MGR., REF. SPECS
- 10.32 REFRIGERATOR, UNDER COUNTER, REF. SPECS
- 10.33 OVEN/RANGE, REF. SPECS
- 10.34 EXHAUST HOOD, REF. SPECS
- 10.35 GARBAGE DISPOSAL, REF. SPECS
- 10.36 DISHWASHER, REF. SPECS
- 10.37 MICROWAVE OVEN, REF. SPECS
- 10.38 BENCH SEAT, REF. SPECS
- 10.39 WASHER, REF. SPECS
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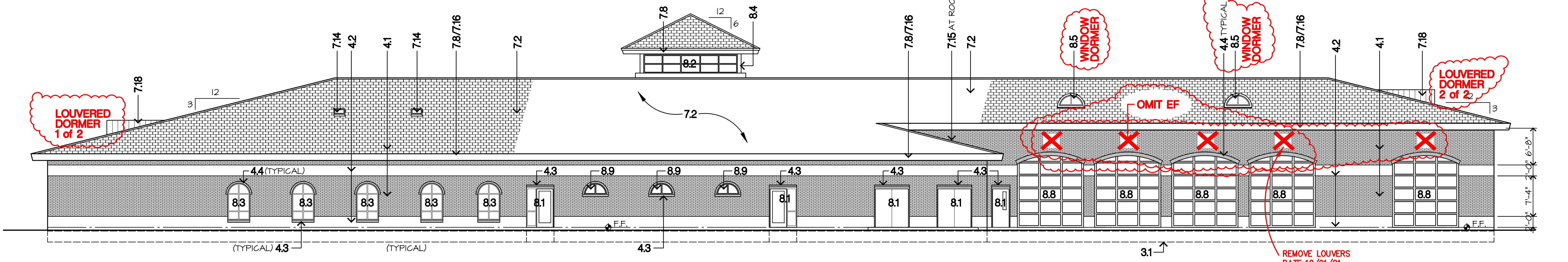
- 3.1 CONCRETE CONTINUOUS FOOTING, REF. STRUCT. DWGS.
- 3.2 CONCRETE COLUMN FOOTING, REF. STRUCT. DWGS.
- 3.3 CONCRETE THICKENED SLAB, REF. STRUCT. DWGS.
- 3.4 CONCRETE FLOOR SLAB, REF. STRUCT. DWGS.
- 3.5 GRANULAR CUSHION FILL, REF. STRUCT. DWGS.
- 3.6 EXPOSED CONCRETE, HAND RUBBED
- 3.7 CONCRETE SLAB OVER METAL DECK, REF. STRUCT. DWGS.
- 3.8 4" CONCRETE PAD AT CONDENSING UNITS, SIZE AS REQUIRED FOR UNITS.
- 3.9 EXPANSION JOINT FILLER AT JOINT.
- 3.10 ROW: CONC. SLAB, REFER STRUCT. DWGS.
- 4.1 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (RED)
- 4.2 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (WHITE)
- 4.3 BRICK ROUNDS COURSE
- 4.4 SOLDIER COURSE
- 4.5 OUI WALL INSULATION, WHERE R.B. DOES NOT OCCUR.
- 4.6 CONCRETE MASONRY UNIT (CMU) STANDARD 16" x 8" x 8", SMOOTH FACE, PAINT
- 4.7 MASONRY BOND BEAM, CONTINUOUS w/ 2-#5 R.B. AND GROUT FILLED FULL.
- 4.8 MASONRY UNITS, REFER TO UNITS SCHEDULE.
- 4.9 VERTICAL R.B. WALL REINFORCING, GROUT FULL FULL HEIGHT, REFER PLANS & SCHEDULE, MINIMUM #6 @ 32" O.C., TYPICAL, REF. STRUCT.
- 4.10 THRU WALL FLASHING
- 4.11 CONTROL JOINT w/ BACKER ROD & SEALANT
- 4.12 WEEP HOLES AT 32" O.C.
- 5.1 COLUMN, STEEL, REFER FRAMING PLANS
- 5.2 BEAM, STEEL, REFER TO FRAMING PLANS
- 5.3 CHANNEL, STEEL, REFER TO FRAMING PLANS
- 5.4 ANGLE, STEEL, REFER TO FRAMING PLANS AND DETAILS
- 5.5 STEEL JOIST @ 5'-0" O.C.
- 5.6 FLOOR DECK, METAL, REFER FRAMING PLANS
- 5.7 ROOF DECK, METAL, REFER TO FRAMING PLANS
- 5.8 STAIR, STEEL PAN, CONCRETE FILLED, PAINT
- 5.9 BRICK ANGLE UNITS, REFER TO UNITS SCHEDULE
- 5.10 DOWNSPOUT BOOT RE: 0550-0052
- 5.11 HANDRAIL, STEEL w/ WALL BRACKETS
- 5.12 STEEL LADDER, REFER 0550-0002
- 5.13 STEEL TUB, REF. TO STRUCTURAL DWGS.
- 5.14 1" STEEL DECK CEILING PANELS ON LT GAUGE METAL FRAMING, REFER TO STRUCT. DWGS A/52.4
- 5.15 PIPE COLLARS, 1" STEEL PIPE, CONCRETE FILLED, REFER 0550-0022, TYP. BOTH SIDES OF OVERHEAD DOORS AND AS SHOWN ON PLANS.
- 6.1 2x CONTINUOUS WOOD BLOCKING AS REQUIRED, ANCHOR TO ROOF DECK AT 24" O.C.
- 6.2 WINDOW STOOL, SOLID SURFACE, 3/4" PROJECTION OUT FROM FACE OF WALL, TYPICAL AT ALL WINDOWS AT EXTERIOR WALLS.
- 6.3 BASE CABINET
- 6.4 WALL CABINET
- 6.5 SOLID SURFACE COUNTER TOP AND SPLASH
- 6.6 SOLID SURFACE COUNTER TOP AND SPLASH.
- 7.1 LINE OF ROOF OR FLOOR OVERHANG
- 7.2 ASPHALT SHINGLE ROOFING OVER BLDG. FELT AND 1" PLYWOOD SHEATHING BOARD.
- 7.3 4" SOUND BATT INSULATION OVER CEILING.
- 7.4 NOT USED
- 7.5 2 1/2" POLYISOCYANURATE INSULATION OVER 1/2" PERLITE BOARD.
- 7.6 METAL SOFFIT, OVER METAL STUD FRAMING, REF. SPEC'S.
- 7.7 BATT INSULATION
- 7.8 FASCIA, SHEET METAL, PRE-FINISHED
- 7.9 FOUNDATION FRAMER INSULATION
- 7.10 FIRE STOP (FRESHAFING)
- 7.11 CONTROL JOINT, SEALANT w/ BACKER ROD
- 7.12 PREFINISHED METAL LOCKERS w/ BRD SCREEN
- 7.13 5/8" DENSGLASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS
- 7.14 SKYLIGHT, REFER SPECIFICATIONS
- 7.15 FLASHING, SHEET METAL, PREFINISHED
- 7.16 SHEET FASCIA & METAL GUTTER, PRE-FINISHED
- 7.17 METAL PROPOSED, PRE-FINISH, PROPOSED LOCATION AS REQUIRED w/ CAST IRON BOOT AND CONC. SPLASH BLOCK
- 7.18 METAL ROOF AT DORMER
- 7.19 ALUMINUM LOUVER VENT AT DORMER, PRE-FINISHED.
- 7.20 1/2" PERLITE BOARD.
- 8.1 DOOR & FRAME, REFER PLANS & SCHEDULES.
- 8.2 WINDOW STOREFRONT WINDOW
- 8.3 ALUMINUM STOREFRONT, REF. SPEC'S
- 8.4 ALUMINUM BREAK METAL, COLOR & FINISH TO MATCH WINDOW.
- 8.5 ALUMINUM DORMER WINDOW
- 8.6 HOLLOW METAL WINDOW FRAME, PAINT
- 8.7 ALUMINUM BREAK METAL
- 8.8 UPWARD ACTING SECTION DOOR, REFER SCHEDULE & SPEC'S.
- 8.9 ALUMINUM WINDOW, REFER SCHEDULE & SPEC'S
- 8.10 ALUMINUM BREAK METAL WINDOW SILL, REF-FINISHED
- 9.1 LINE OF CHANGE IN CEILING HEIGHT.
- 9.2 5/8" FIRE CODE GYPSUM WALL/CEILING BOARD, PAINT
- 9.3 3/4" E.L.F.S. OVER DENSGLASS SHEATHING, REF. PART 2
- 9.4 SUSPENDED ACOUSTICAL CEILING
- 9.5 METAL STUD FRAMING AT 16" O.C., REFER PARTITION TYPES
- 9.6 RUBBER BASE, REFER FINISH PLAN
- 9.7 METAL CEILING SUSPENSION SYSTEM
- 9.8 5/8" DENSGLASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
- 9.9 EXPOSED STRUCTURE
- 9.10 METAL STUD BRACING TO STRUCTURE
- 9.11 GLASS FIBER REINFORCED GYPSUM COLUMN COVER
- 9.12 FURR DOWN OVER WALL CABINETS, 5/8" GYP. BD. ON METAL STUD FRAMING @ 24" O.C.
- 9.13 CERAMIC TILE MANISCOOT, REFER FINISH PLAN & DETAILS
- 9.14 METAL STUD BOX HEADER
- 10.1 FIRE EXTINGUISHER & CABINET
- 10.2 TOILET PARTITION
- 10.3 URINAL SCREEN
- 10.4 LOCKER, REFER SPECIFICATIONS
- 10.5 MIRROR
- 10.6 GRAB BARS (ADA COMPLIANT)
- 10.7 SHOWER CURTAIN & ROD
- 10.8 FOLD DOWN SHOWER SEAT, REF. SPEC'S
- 10.9 METAL LOCKER, REF. SPEC'S
- 11.1 REFRIGERATOR, FULL HEIGHT w/ ICE MKR., REF. SPEC'S
- 11.2 REFRIGERATOR, UNDER COUNTER, REF. SPEC'S
- 11.3 OVEN/RANGE, REF. SPEC'S
- 11.4 EXHAUST HOOD, REF. SPEC'S
- 11.5 GARBAGE DISPOSAL, REF. SPEC'S
- 11.6 DISHWASHER, REF. SPEC'S
- 11.7 MICROWAVE OVEN, REF. SPEC'S
- 11.8 BENCH SEAT, REF. SPEC'S
- 11.9 WASHER, REF. SPEC'S
- 11.10 DRYER, REF. SPEC'S
- 11.11 GUN LOCKER, REF. SPEC'S
- 11.12 BUNK BED, REF. SPEC'S
- 11.13 STEEL HANDCUFF BENCH, REF. SPEC'S
- 11.14 MEDICINE CABINET, DETENTION GRADE, REF. SPEC'S
- 11.15 STEEL SHELVING, BY OTHERS
- 11.16 COTE, REF. SPEC'S
- 11.17 EVIDENCE CABINETS, BY OTHERS
- 11.18 EVIDENCE PROCESSING TABLE
- 11.19 BOOKING TABLE
- 12.1 BLINDS
- 12.2 BASE CABINET, PLASTIC LAMINATE
- 12.3 WALL CABINET, PLASTIC LAMINATE
- 12.4 STORAGE SHELVING, PLASTIC LAMINATE
- 12.5 COUNTERTOP, PLASTIC LAMINATE
- 12.6 STORAGE CABINET, PLASTIC LAMINATE
- 22.1 WATERCLOSET
- 22.2 URINAL
- 22.3 LAVATORY, BOTTOM MTD., REF. SCHED.
- 22.4 LAVATORY, WALL MOUNTED
- 22.5 MSB SERVICE BASIN
- 22.6 ELECTRIC WATER COOLER
- 22.7 FLOOR DRAIN
- 22.8 FLOOR SINK
- 22.9 WATER HEATER
- 22.10 SINK, REFER PLUMBING SCHEDULE
- 22.11 WASHER BOX
- 22.12 SHOWER HEAD
- 23.1 FURNACE UNIT
- 23.2 FURNACE UNIT, HORIZONTAL ABOVE CEILING
- 23.3 CONDENSING UNIT
- 23.4 CEILING DIFFUSER
- 23.5 SIDEWALL DIFFUSER
- 23.6 RETURN AIR GRILLE
- 23.7 EXHAUST GRILLE
- 23.8 SUPPLY AIR DUCT
- 23.9 RETURN AIR DUCT
- 23.10 OUTSIDE AIR LOUVER w/ FLANGE
- 23.11 ROOF TOP UNIT ON ROOF CURB
- 23.12 LINEAR CEILING DIFFUSER
- 26.1 MAIN DISTRIBUTION PANEL
- 26.2 ELECTRICAL SUB-PANEL
- 26.3 LIGHT FIXTURE, RECESSED, LAY-IN
- 26.4 LIGHT FIXTURE, PENDANT
- 26.5 LIGHT FIXTURE, SURFACE MOUNTED
- 26.6 EXIT LIGHT
- 26.7 LIGHT FIXTURE, RECESSED CAN
- 31.1 LINE OF EXISTING GRADE
- 31.2 LINE OF FINISH GRADE
- 32.1 4" CONCRETE WALK



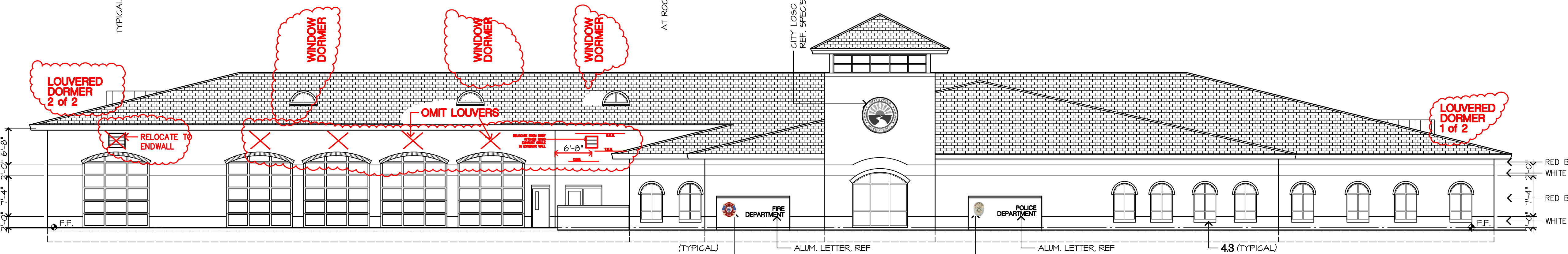
D EAST ELEVATION
 3/32"=1'-0"



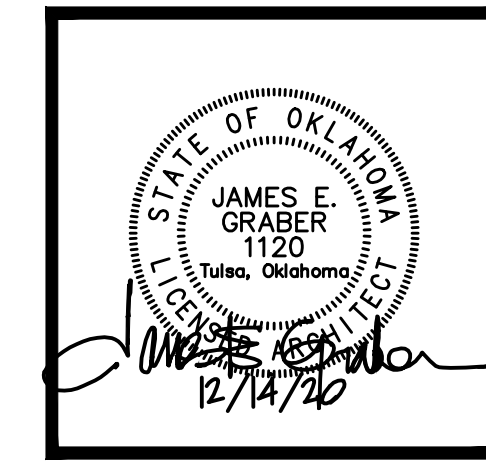
C WEST ELEVATION
 3/32"=1'-0"



B SOUTH ELEVATION
 3/32"=1'-0"

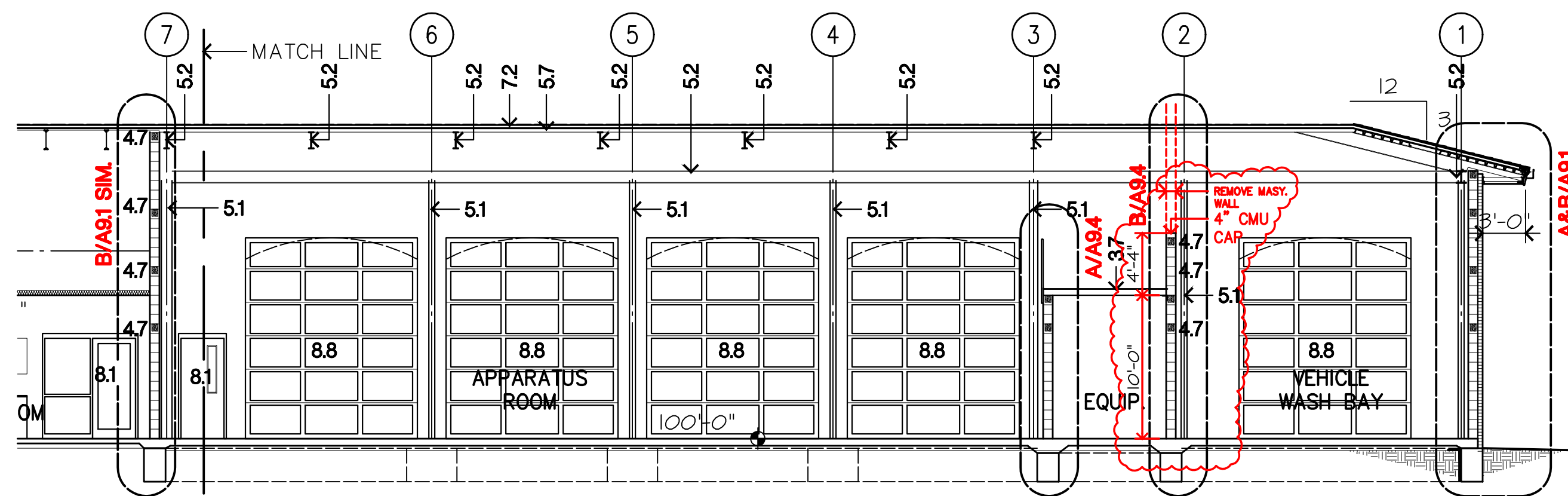


A NORTH ELEVATION
 3/32"=1'-0"



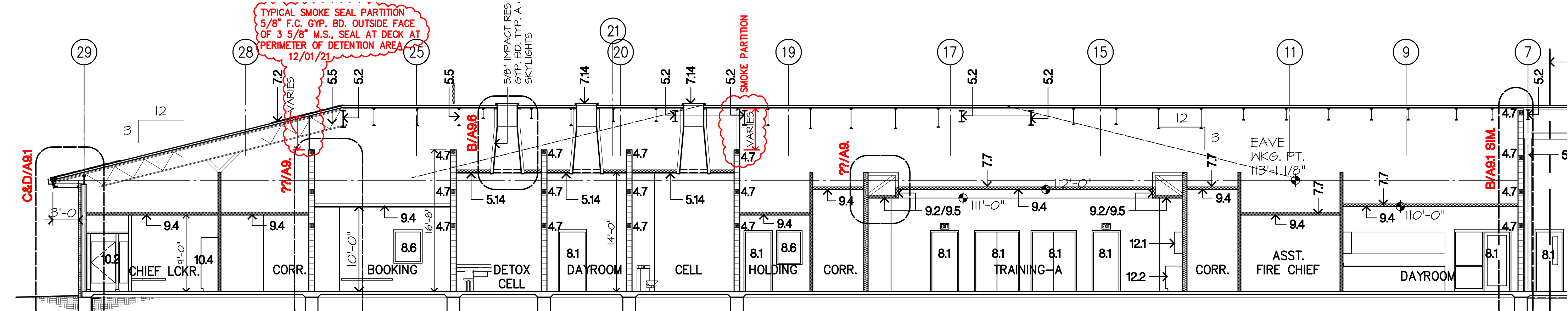
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- 3.1 CONCRETE CONTINUOUS FOOTING, REF. STRUCT. DWGS.
- 3.2 CONCRETE COLUMN FOOTING, REF. STRUCT. DWGS.
- 3.3 CONCRETE THICKENED SLAB, REF. STRUCT. DWGS.
- 3.4 CONCRETE FLOOR SLAB, REF. STRUCT. DWGS.
- 3.5 GRANULAR CUSHION FILL, REF. STRUCT. DWGS.
- 3.6 EXPOSED CONCRETE, HAND RUBBED
- 3.7 CONCRETE SLAB OVER METAL DECK, REF. STRUCT. DWGS.
- 3.8 4" CONCRETE PAD AT CONDENSING UNITS, SIZE AS REQUIRED FOR UNITS.
- 3.9 EXPANSION JOINT FILLER AT JOINT.
- 3.10 ROW: CONC. SLAB, REFER STRUCT. DWGS.
- 4.1 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (RED)
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- 4.3 BRICK ROWLOCK COURSE
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- 4.8 MASONRY UNITS, REFER TO UNITS SCHEDULE.
- 4.9 VERTICAL R.B. WALL REINFORCING, GROUT FULL HEIGHT, REFER PLANS & SCHEDULE, MINIMUM # 3 @ 32" O.C., TYPICAL, REF. STRUCT.
- 4.10 THRU WALL FLASHING
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- 5.4 ANGLE, STEEL, REFER TO FRAMING PLANS AND DETAILS
- 5.5 STEEL JOIST @ 5'-0" O.C.
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- 5.8 STAIR, STEEL PAN, CONCRETE FILLED, PAINT
- 5.9 BRICK ANGLE UNITS, REFER TO UNITS SCHEDULE
- 5.10 DOWNSPOUT BOOT REF: 0550-0052
- 5.11 HANDRAIL, STEEL, REFER TO UNITS SCHEDULE
- 5.12 STEEL LADDER, REFER 0550-0002
- 5.13 STEEL TUBE, REFER TO STRUCTURAL DWGS.
- 5.14 1" STEEL DECK CEILING PANELS ON LG GAUSE METAL FRAMING, REFER TO STRUCT. DWGS A/52.4
- 5.15 PIPE (HOLLOW), STEEL PIPE, CONCRETE FILLED, REF: 0550-0022, TYP. BOTH SIDES OF OVERHEAD DOORS AND AS SHOWN ON PLANS.
- 6.1 2x CONTINUOUS WOOD BLOCKING AS REQUIRED, ANCHOR TO ROOF DECK AT 24" O.C.
- 6.2 WINDOW SILL, SOLID SURFACE, 3/4" PROJECTION OUT FROM FACE OF WALL, TYPICAL AT ALL WINDOWS AT EXTERIOR WALLS.
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- 7.10 FLOOR STOP (FRESHENING)
- 7.11 CONTROL JOINT, SEALANT w/ BACKER ROD
- 7.12 PRE-FINISHED METAL LOCKERS w/ BRD SCREEN
- 7.13 5/8" DENEGASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
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- 9.3 3/4" E.I.F.S. OVER DENEGASS SHEATHING, REF. PARTS
- 9.4 SUBPANEL ACOUSTICAL CEILING
- 9.5 METAL STUD FRAMING AT 16" O.C., REFER PARTITION TYPES
- 9.6 RUBBER BASE, REFER FINISH PLAN
- 9.7 METAL CEILING SUSPENSION SYSTEM
- 9.8 5/8" DENEGASS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
- 9.9 EXPOSED STRUCTURE
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- 9.11 GLASS FIBER REINFORCED GYPSUM COLUMN COVER
- 9.12 FURR DOWN OVER WALL CABINETS, 5/8" GYP. BD. ON METAL STUD FRAMING @ 24" O.C.
- 9.13 PORCELAIN TILE MANISCOT, REFER FINISH PLAN & DETAILS
- 9.14 METAL STUD BOX HEADER
- 10.1 FIRE EXTINGUISHER & CABINET
- 10.2 TOILET PARTITION
- 10.3 URINAL SCREEN
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- 10.8 FOLD DOWN SHOWER SEAT, REFER. SPECS
- 10.9 METAL LOCKER, REFER. SPECS
- 11.1 REFRIGERATOR, FULL HEIGHT w/ ICE MKR., REFER. SPECS
- 11.2 REFRIGERATOR, UNDER COUNTER, REFER. SPECS
- 11.3 OVEN/RANGE, REFER. SPECS
- 11.4 EXHAUST HOOD, REFER. SPECS
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- 11.6 DISHWASHER, REFER. SPECS
- 11.7 MICROWAVE OVEN, REFER. SPECS
- 11.8 BENCH SEAT, REFER. SPECS
- 11.9 WASHER, REFER. SPECS
- 11.10 DRYER, REFER. SPECS
- 11.11 GUN LOCKER, REFER. SPECS
- 11.12 BUNK BED, REFER. SPECS
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- 12.6 STORAGE CABINET, PLASTIC LAMINATE
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- 26.5 LIGHT FIXTURE, SURFACE MOUNTED
- 26.6 EXT LIGHT
- 26.7 LIGHT FIXTURE, RECESSED CAN
- 31.1 LINE OF EXISTING GRADE
- 31.2 LINE OF FINISH GRADE
- 32.1 4" CONCRETE WALK



B BUILDING SECTION
 1/8"=1'-0"

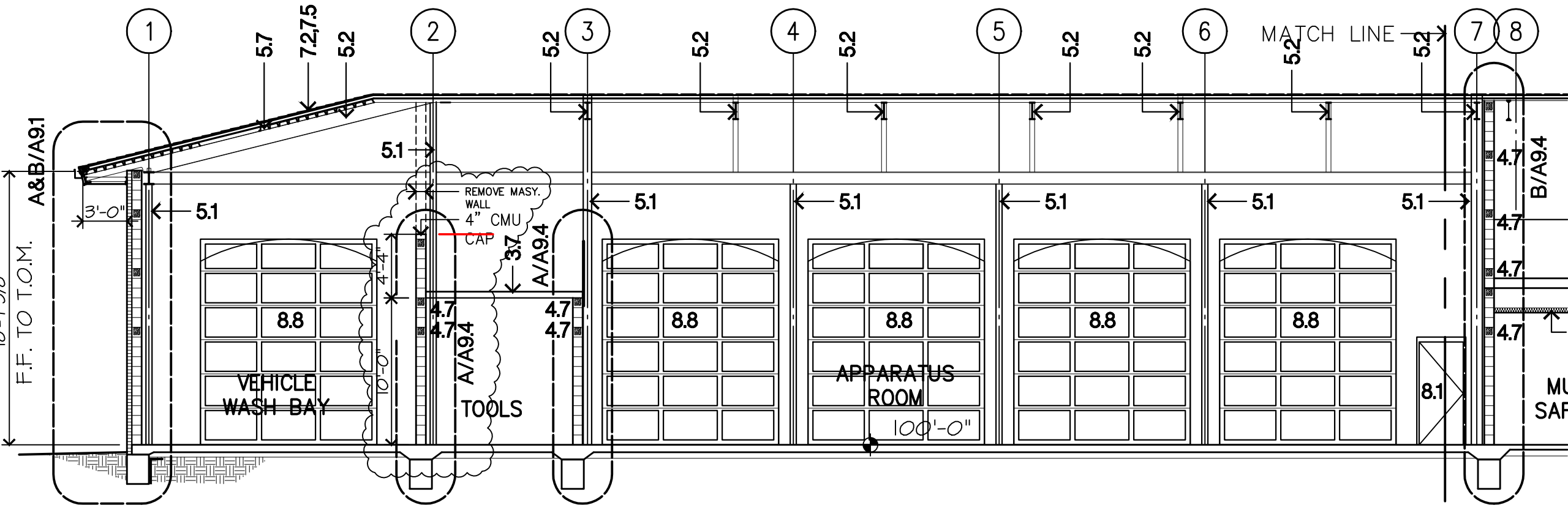
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B BUILDING SECTION
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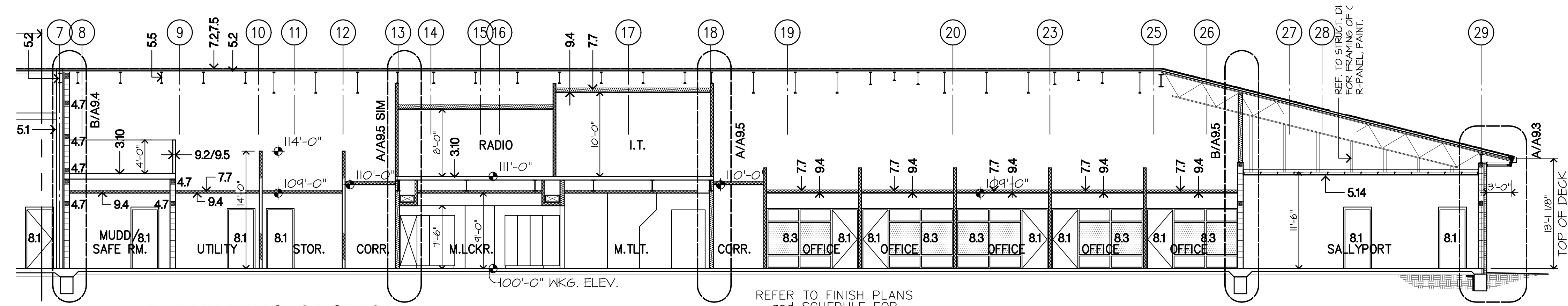
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REFER TO FINISH PLANS and SCHEDULE FOR TILE FINISH ON WALL LOCATIONS



A BUILDING SECTION
 1/8"=1'-0"

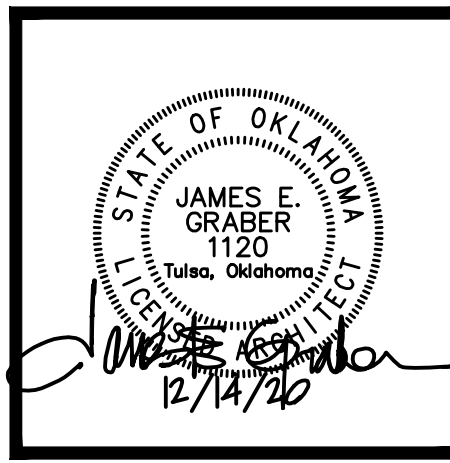
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A BUILDING SECTION
 1/8"=1'-0"

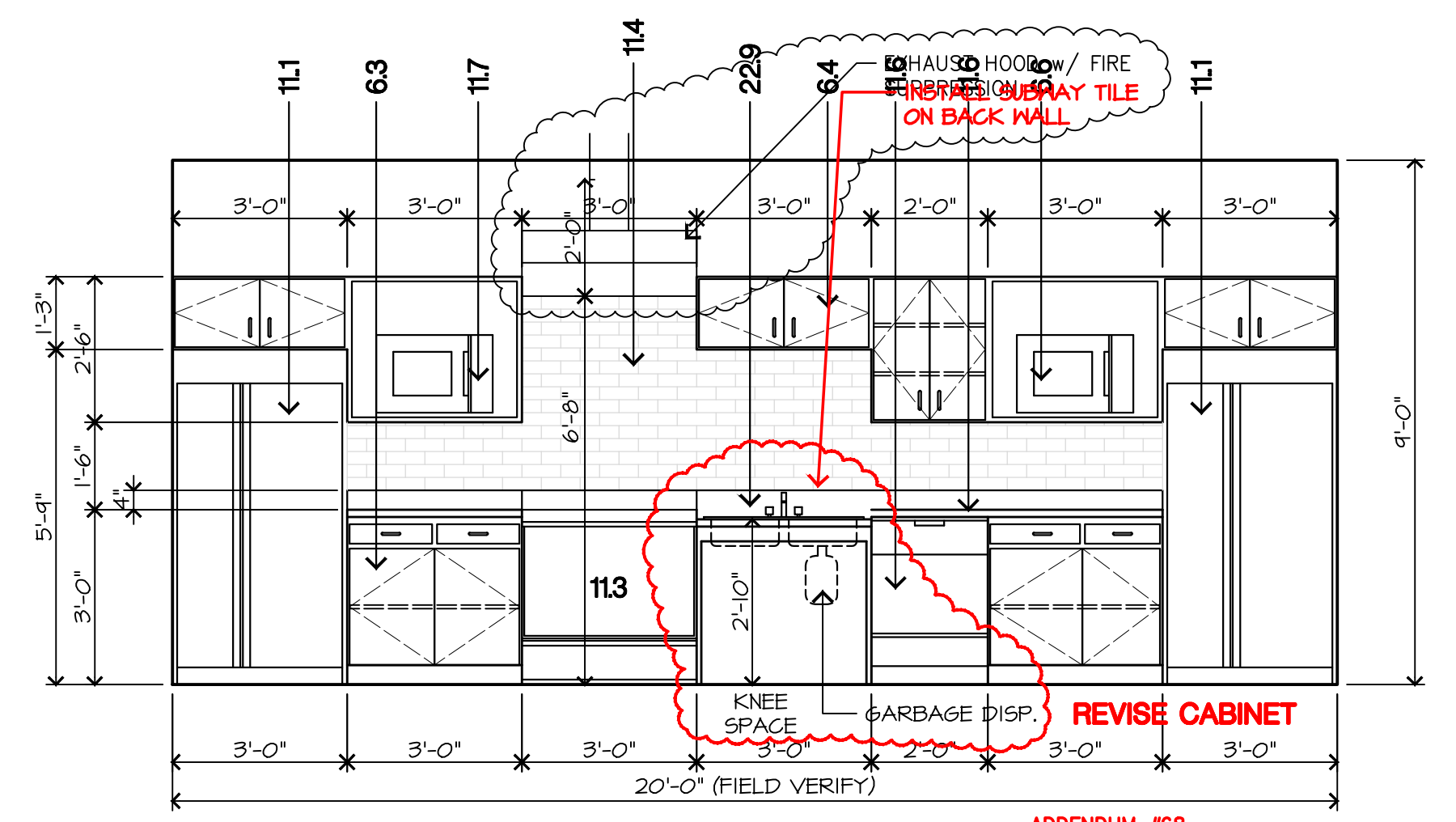
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REFER TO FINISH PLANS and SCHEDULE FOR TILE FINISH ON WALL LOCATIONS

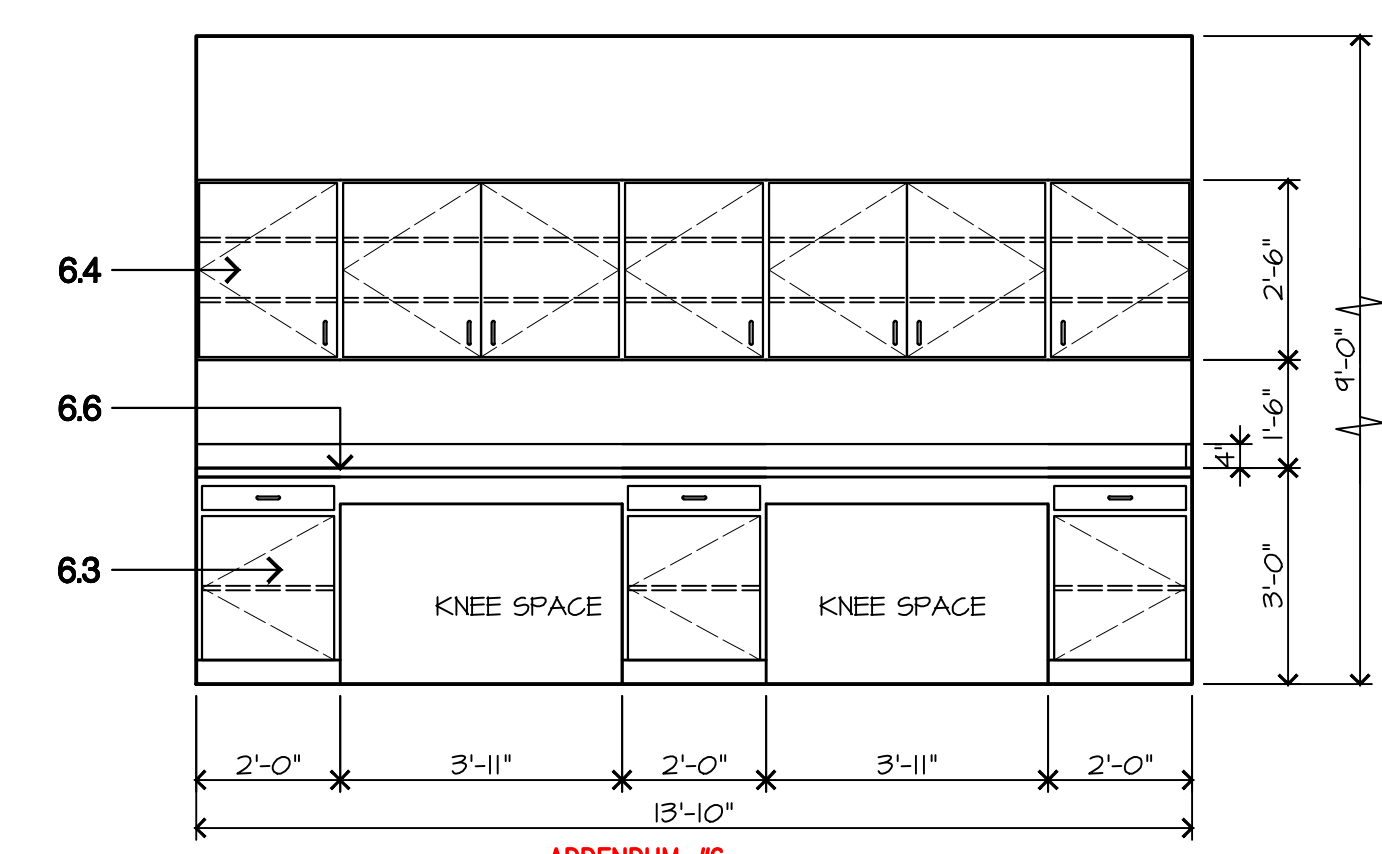


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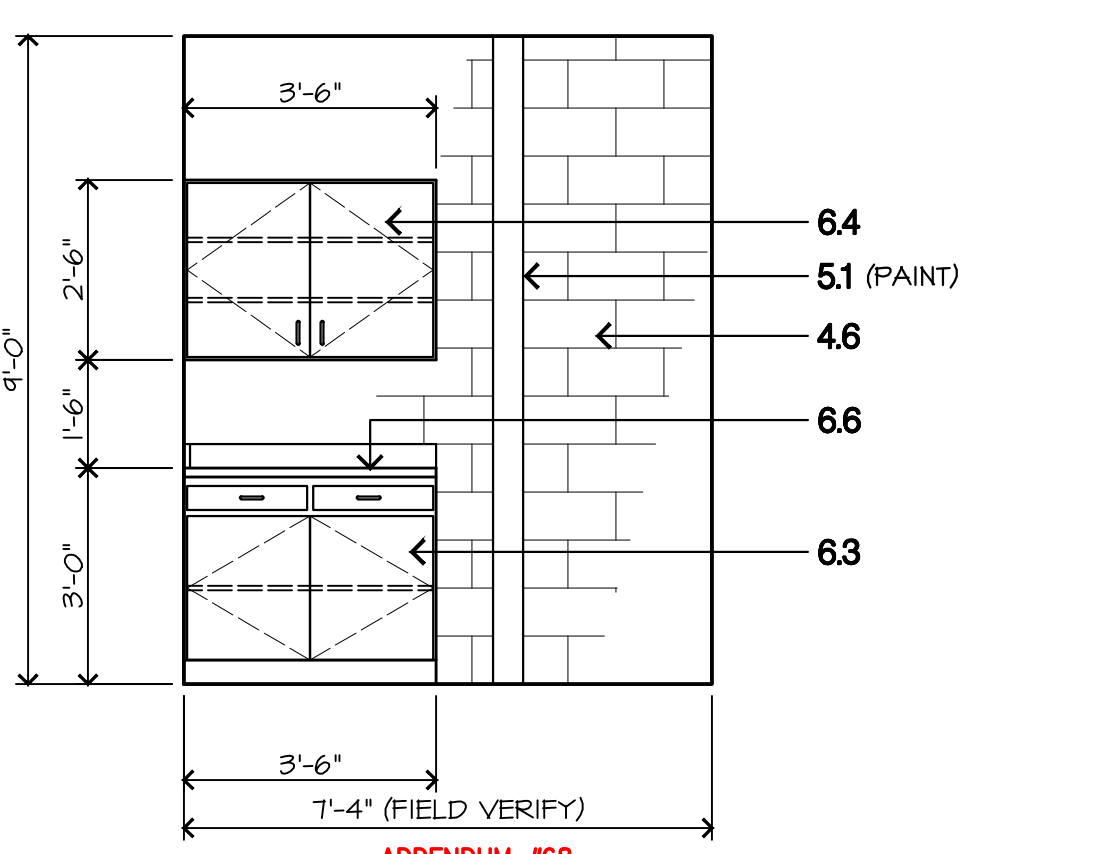
- 3.1 CONCRETE CONTINUOUS FOOTING, REF. STRUCT. DWGS.
- 3.2 CONCRETE COLUMN FOOTING, REF. STRUCT. DWGS.
- 3.3 CONCRETE THICKENED SLAB, REF. STRUCT. DWGS.
- 3.4 CONCRETE FLOOR SLAB, REF. STRUCT. DWGS.
- 3.5 GRANULAR CUSHION FILL, REF. STRUCT. DWGS.
- 3.6 EXPOSED CONCRETE, HAND RUBBED
- 3.7 CONCRETE SLAB OVER METAL DECK, REF. STRUCT. DWGS.
- 3.8 4" CONCRETE PAD AT CONDENSING UNITS, SIZE AS REQUIRED FOR UNITS.
- 3.9 EXPANSION JOINT FILLER AT JOINT.
- 3.10 ROW: CONC. SLAB, REFER STRUCT. DWGS.
- 4.1 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (RED)
- 4.2 FACE BRICK w/ WALL TIES AT 24" O.C. EACH WAY (WHITE)
- 4.3 BRICK RAINLICK COURSE
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- 4.6 CONCRETE MASONRY UNIT (CMU) STANDARD 16" X 24", SMOOTH FACE, PAINT
- 4.7 MASONRY BOND BEAM, CONTINUOUS w/ 2-#5 R.B. AND GROUT FILLED FULL.
- 4.8 MASONRY UNITS, REFER TO UNITS SCHEDULE.
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- 4.11 CONTROL JOINT w/ BACKER ROD & SEALANT
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- 5.4 ANGLE, STEEL, REFER TO FRAMING PLANS AND DETAILS
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- 5.14 1" STEEL DECK CEILING PANELS ON LT CAUSE METAL FRAMING REFER TO STRUCT. DWGS A/52.4
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- 6.6 SOLID SURFACE COUNTER TOP AND SPLASH
- 7.1 LINE OF ROOF OR FLOOR OVERHANG
- 7.2 ASPHALT SHINGLE ROOFING OVER BLDG. FELT AND 2" PLYWOOD SHEATHING BOARD.
- 7.3 4" SOUND BATT INSULATION OVER CEILING
- 7.4 NOT USED
- 7.5 1/2" POLYISOCYANURATE INSULATION OVER 1/2" PERLITE BOARD.
- 7.6 METAL SOFFIT, OVER METAL STUD FRAMING, REF. SPECS.
- 7.7 BATT INSULATION
- 7.8 FASCIA, SHEET METAL, PRE-FINISHED
- 7.9 FOUNDATION FROSTER INSULATION
- 7.10 FIRE STOP (FRESAFING)
- 7.11 CONTROL JOINT, SEALANT w/ BACKER ROD
- 7.12 PREFINISHED METAL LOCKERS w/ BRD SCREEN
- 7.13 5/8" DENEGLOSS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
- 7.14 SKYLIGHT, REFER SPECIFICATIONS
- 7.15 FLASHING, SHEET METAL, PREFINISHED
- 7.16 SHEET FASCIA & METAL GUTTER, PRE-FINISHED
- 7.17 SHEET METAL DOWNSPOUT, PRE-FINISH, PROPOSED LOCATION AS REQUIRED w/ CAST IRON ROOT AND CONC. SPASH BLOCK
- 7.18 METAL ROOF AT DORMER
- 7.19 ALUMINUM LOUVER VENT AT DORMER, PRE-FINISHED.
- 7.20 2" PERLITE BOARD.
- 8.1 DOOR & FRAME, REFER PLANS & SCHEDULES.
- 8.2 WINDOW STOREFRONT, REFER. SPECS.
- 8.3 ALUMINUM STOREFRONT, REFER. SPECS.
- 8.4 ALUMINUM BREAK METAL, COLOR & FINISH TO MATCH WINDOW.
- 8.5 ALUMINUM DORMER WINDOW
- 8.6 HOLLOW METAL WINDOW FRAME, PAINT
- 8.7 ALUMINUM BREAK METAL, COLOR & FINISH TO MATCH WINDOW.
- 8.8 UPWARD ACTING SECTION DOOR, REFER. SCHEDULE & SPECS.
- 8.9 ALUMINUM WINDOW, REFER SCHEDULE & SPECS.
- 8.10 ALUMINUM BREAK METAL WINDOW SILL, REF-FINISHED
- 9.1 LINE OF CHANGE IN CEILING HEIGHT.
- 9.2 5/8" FIRE CODE GYPSUM WALL/CEILING BOARD, PAINT
- 9.3 3/4" G.I.F.S. OVER DENEGLOSS SHEATHING, REFER PARTS
- 9.4 SUBPENDED ACOUSTICAL CEILING
- 9.5 METAL STUD FRAMING AT 16" O.C., REFER SPECIFICATIONS
- 9.6 RUBBER BASE, REFER FINISH PLAN
- 9.7 METAL CEILING SUSPENSION SYSTEM
- 9.8 5/8" DENEGLOSS SHEATHING w/ BUILDING WRAP, TYPICAL ALL EXTERIOR STUD WALLS.
- 9.9 EXPOSED STRUCTURE
- 9.10 METAL STUD BRACING TO STRUCTURE
- 9.11 GLASS FIBER REINFORCED GYPSUM COLUMN COVER
- 9.12 FURR DOWN OVER WALL CABINETS, 5/8" GYP. BD. ON METAL STUD FRAMING @ 24" O.C.
- 9.13 PORCELAIN TILE MANISCOIT, REFER FINISH PLAN & DETAILS
- 9.14 METAL STUD BOX HEADER
- 10.1 FIRE EXTINGUISHER & CABINET
- 10.2 TOILET PARTITION
- 10.3 URINAL SCREEN
- 10.4 LOCKER, REFER SPECIFICATIONS
- 10.5 MIRROR
- 10.6 GRAB BARS (ADA COMPLIANT)
- 10.7 SHOWER CURTAIN & ROD
- 10.8 FOLD DOWN SHOWER SEAT, REFER. SPECS.
- 10.9 METAL LOCKER, REFER. SPECS.
- 11.1 REFRIGERATOR, FULL HEIGHT w/ ICE MKR., REFER. SPECS.
- 11.2 REFRIGERATOR, UNDER COUNTER, REFER. SPECS.
- 11.3 OVEN/RANGE, REFER. SPECS.
- 11.4 EXHAUST HOOD, REFER. SPECS.
- 11.5 GARBAGE DISPOSAL, REFER. SPECS.
- 11.6 DISHWASHER, REFER. SPECS.
- 11.7 MICROWAVE OVEN, REFER. SPECS.
- 11.8 BENCH SEAT, REFER. SPECS.
- 11.9 WASHER, REFER. SPECS.
- 11.10 DRYER, REFER. SPECS.
- 11.11 GUN LOCKER, REFER. SPECS.
- 11.12 BUNK BED, REFER. SPECS.
- 11.13 STEEL HANDCUFF BENCH, REFER. SPECS.
- 11.14 MEDICINE CABINET, DETENTION GRADE, REFER. SPECS.
- 11.15 STEEL SHELVING, BY OTHERS
- 11.16 COATE, REFER. SPECS.
- 11.17 EVIDENCE CABINETS, BY OTHERS
- 11.18 EVIDENCE PROCESSING TABLE
- 11.19 BOOKING TABLE
- 12.1 BUNDS
- 12.2 BASE CABINET, PLASTIC LAMINATE
- 12.3 WALL CABINET, PLASTIC LAMINATE
- 12.4 STORAGE SHELVING, PLASTIC LAMINATE
- 12.5 COUNTERTOP, PLASTIC LAMINATE
- 12.6 STORAGE CABINET, PLASTIC LAMINATE
- 22.1 WATERCLOSET
- 22.2 URINAL
- 22.3 LAVATORY, BOTTOM MTD., REFER. SCHED.
- 22.4 LAVATORY, WALL MOUNTED
- 22.5 MSB SERVICE BASIN
- 22.6 ELECTRIC WATER COOLER
- 22.7 FLOOR DRAIN
- 22.8 FLOOR SINK
- 22.9 WATER HEATER
- 22.10 SINK, REFER PLUMBING SCHEDULE
- 22.11 WASHER BOX
- 22.12 SHOWER HEAD
- 23.1 FURNACE UNIT
- 23.2 FURNACE UNIT, HORIZONTAL ABOVE CEILING
- 23.3 CONDENSING UNIT
- 23.4 CEILING DIFFUSER
- 23.5 SIDEWALL DIFFUSER
- 23.6 RETURN AIR GRILLE
- 23.7 EXHAUST GRILLE
- 23.8 SUPPLY AIR DUCT
- 23.9 RETURN AIR DUCT
- 23.10 OUTSIDE AIR LOUVER w/ FLANGE
- 23.11 ROOF TOP UNIT ON ROOF CURB
- 23.12 LINEAR CEILING DIFFUSER
- 26.1 MAIN DISTRIBUTION PANEL
- 26.2 ELECTRICAL SUB-PANEL
- 26.3 LIGHT FIXTURE, RECESSED, LAY-IN
- 26.4 LIGHT FIXTURE, PENDANT
- 26.5 LIGHT FIXTURE, SURFACE MOUNTED
- 26.6 EXT LIGHT
- 26.7 LIGHT FIXTURE, RECESSED CAN
- 31.1 LINE OF EXISTING GRADE
- 31.2 LINE OF FINISH GRADE
- 32.1 4" CONCRETE WALK



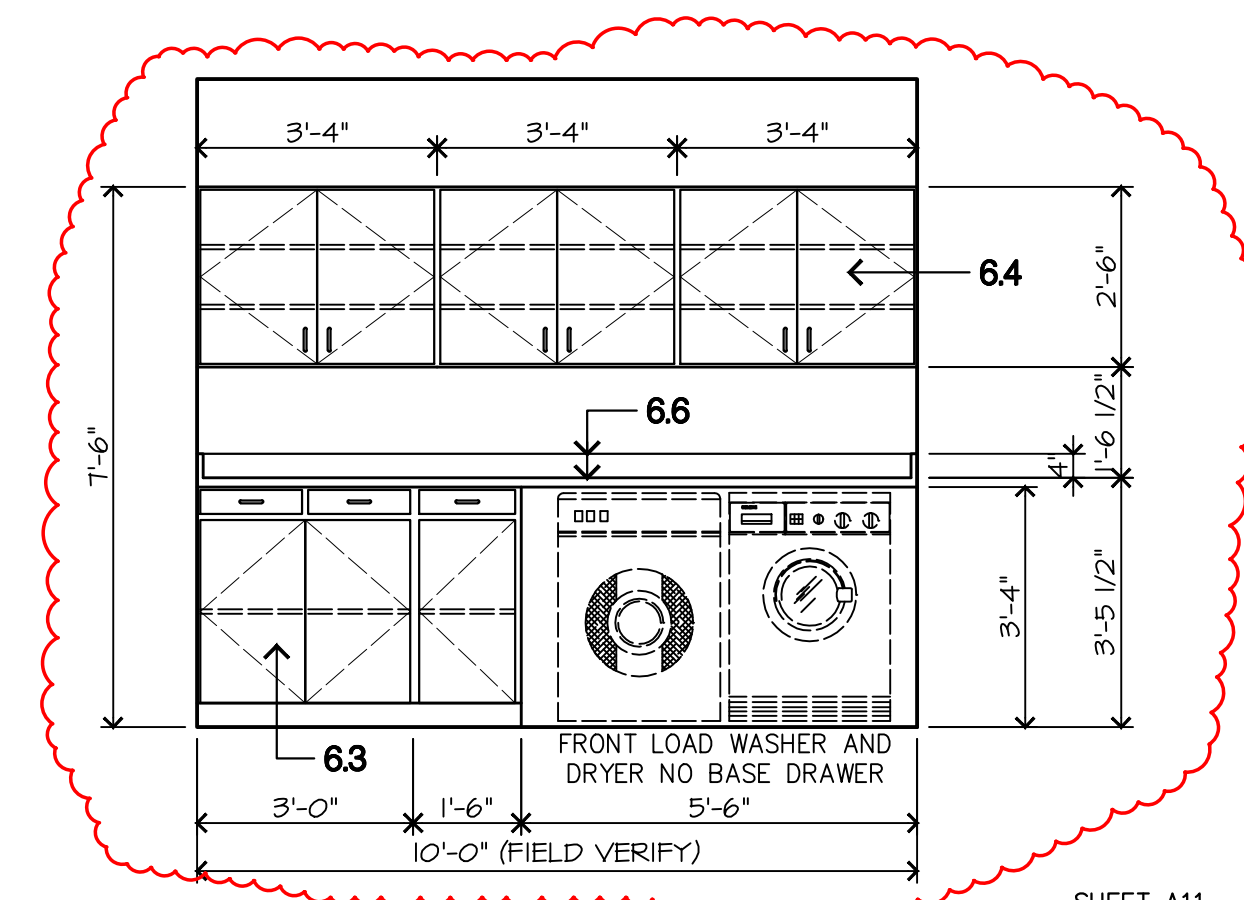
M CABINET ELEVATION Rm. 170
3/8"=1'-0"
1904e18.dwg 01/03/20



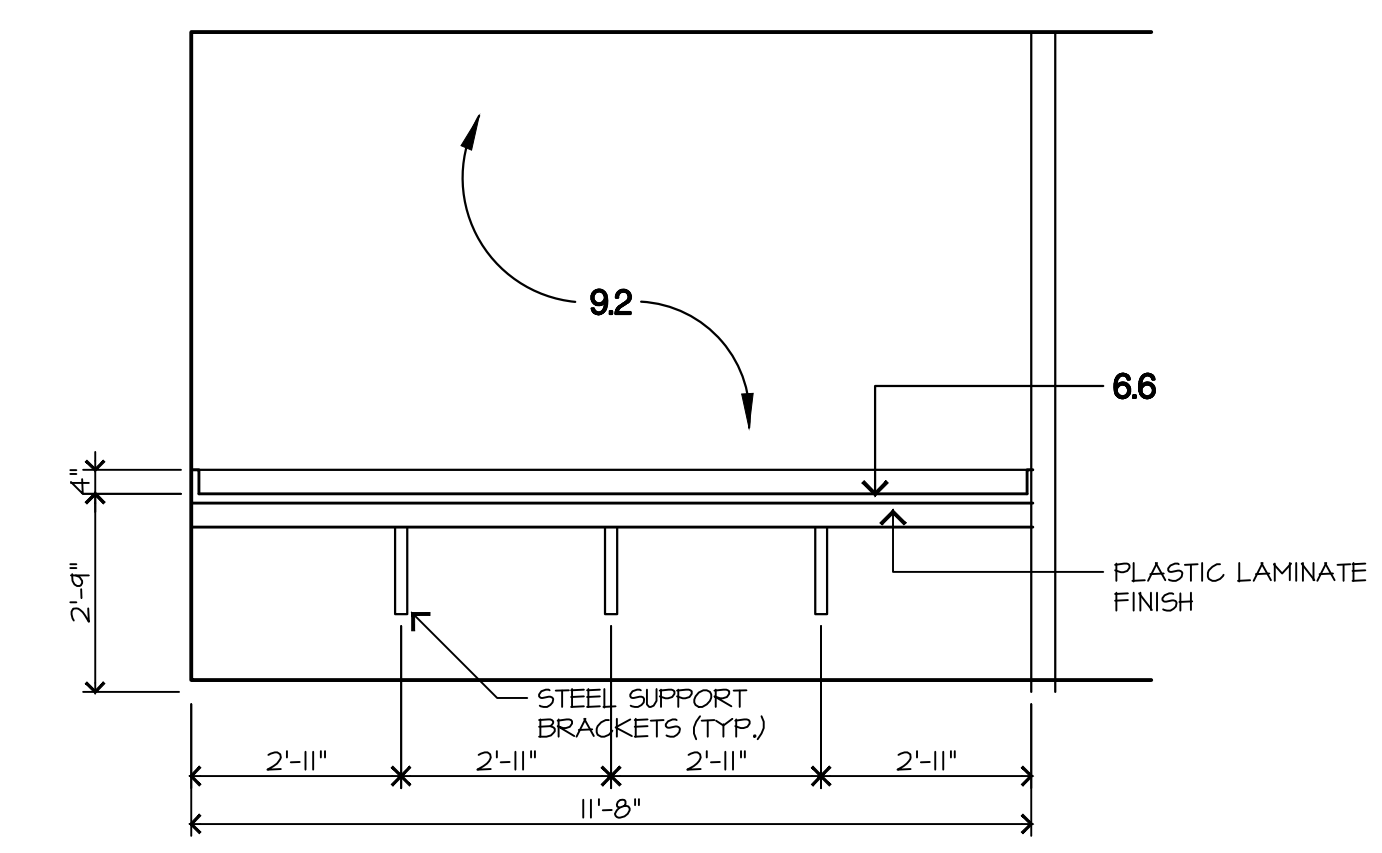
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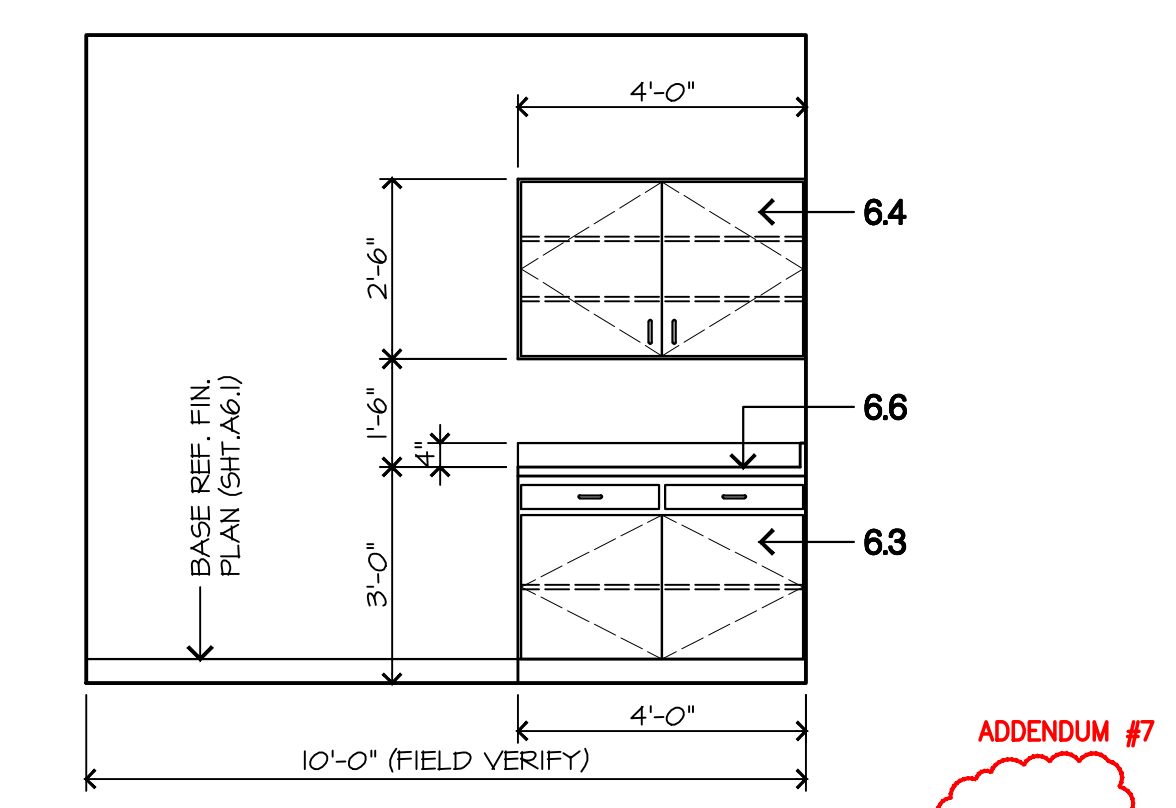
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1904e17.dwg 01/03/20



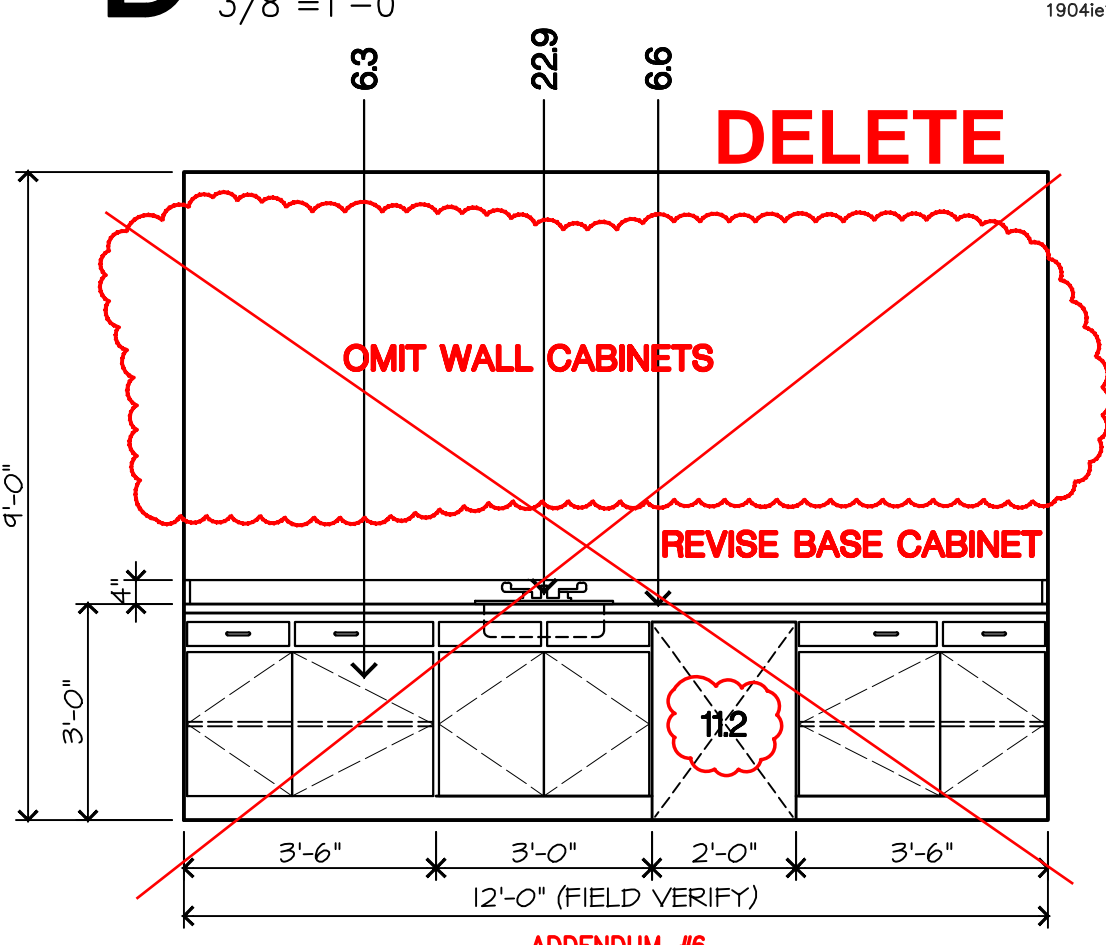
Q CABINET ELEVATION Rm. 127
3/8"=1'-0"
1904e27.dwg 11/12/21



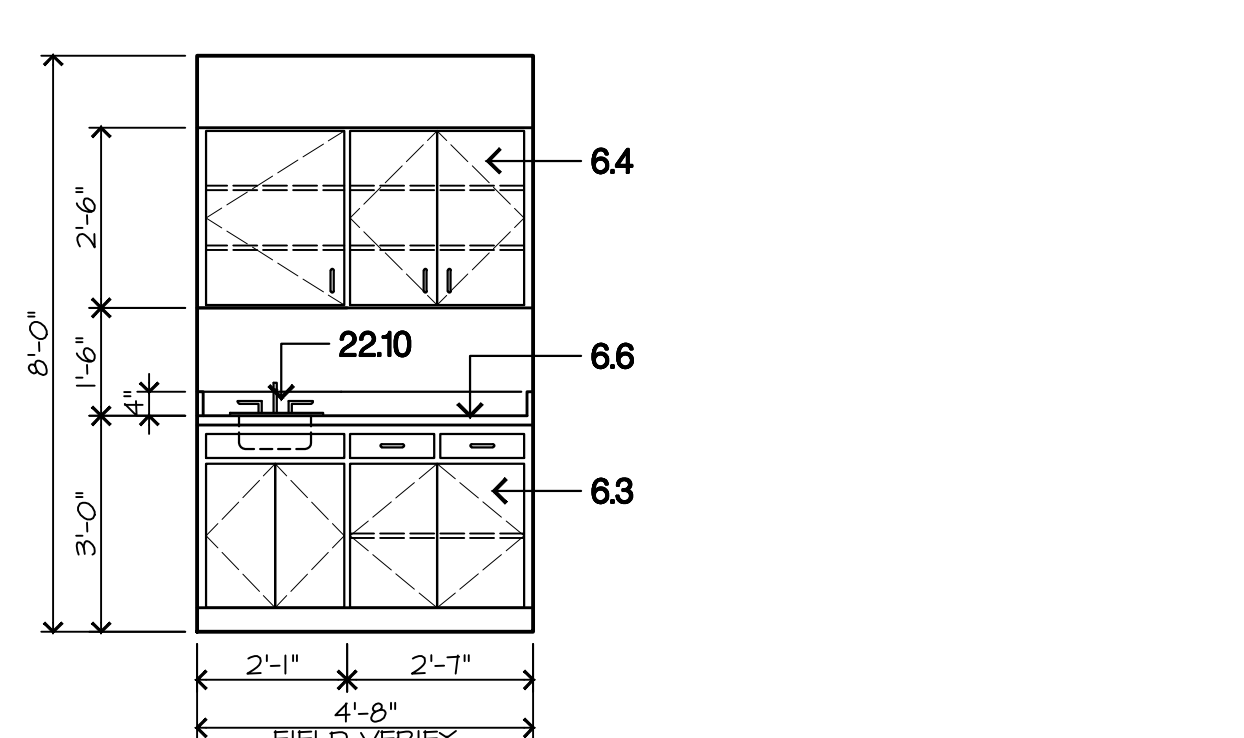
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1904e23.dwg 09/14/20



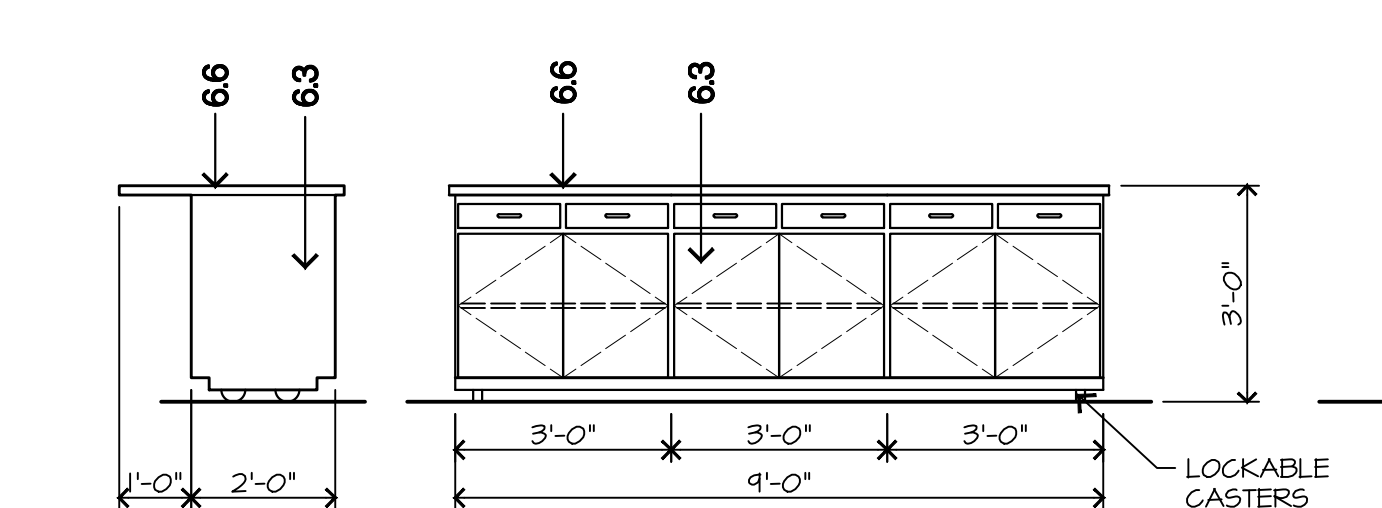
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3/8"=1'-0"
1904e24.dwg 09/14/20



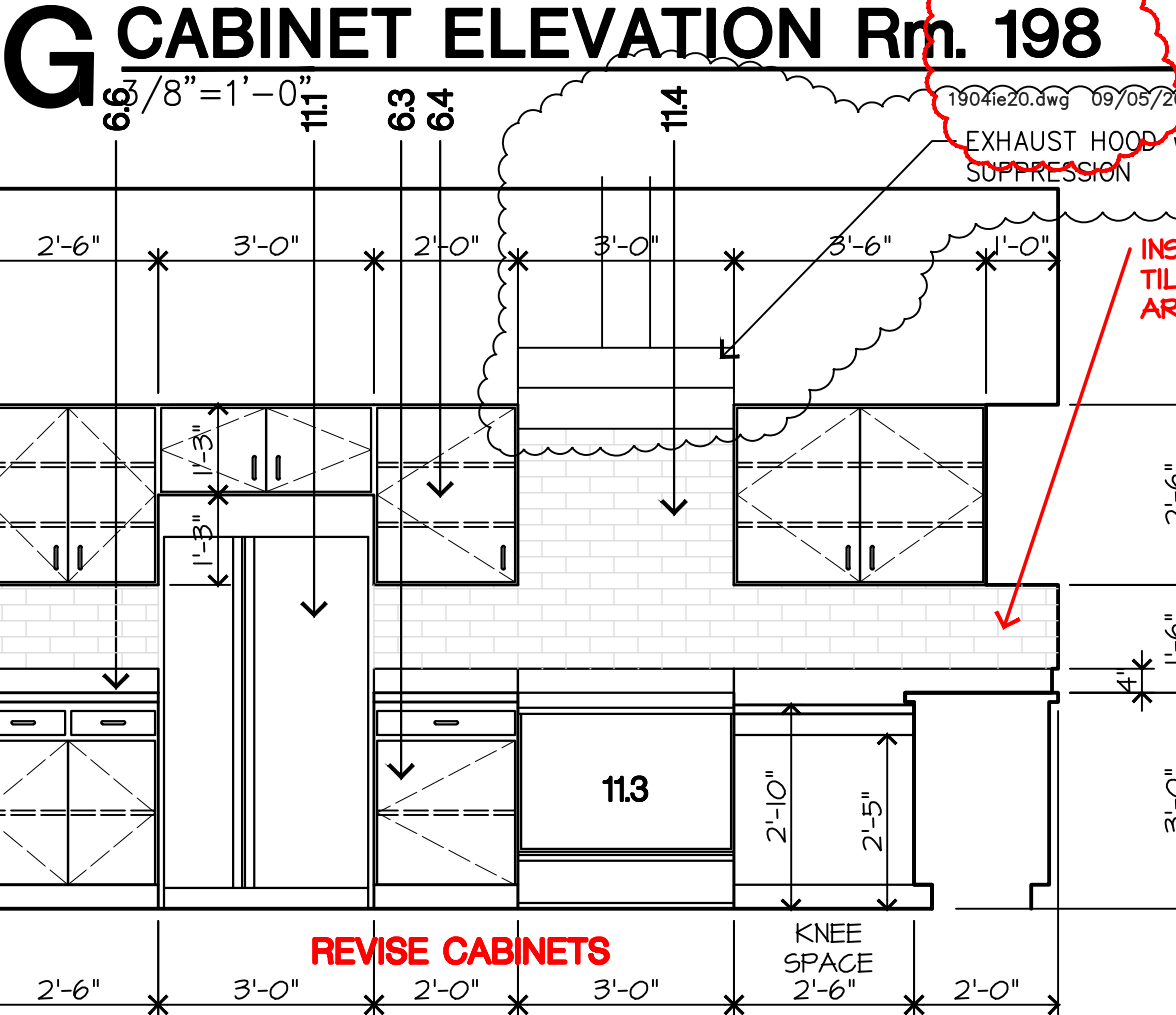
C CABINET ELEVATION Rm. 163
3/8"=1'-0"
1904e16.dwg 03/02/21



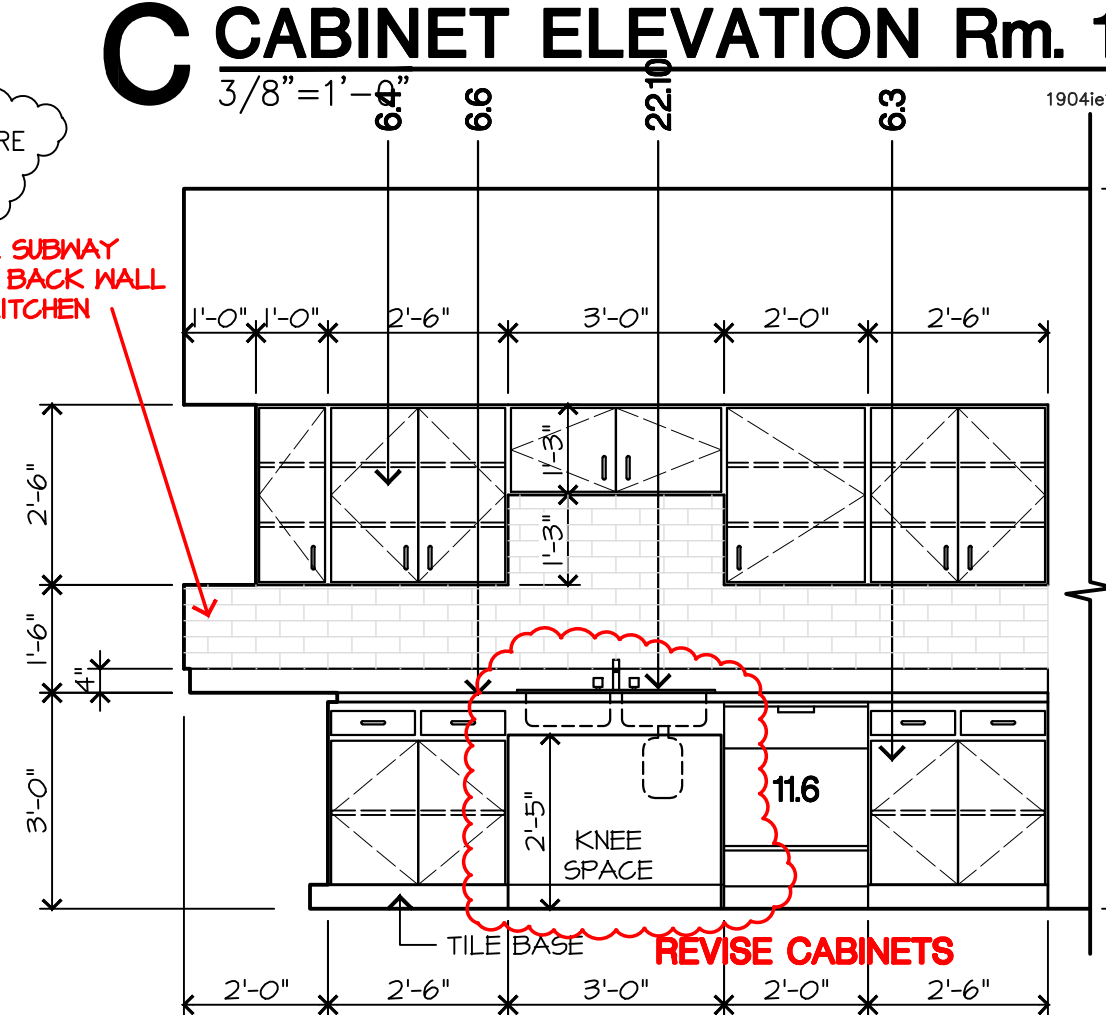
P CABINET ELEVATION Rm. 160
3/8"=1'-0"
1904e25.dwg 09/07/20



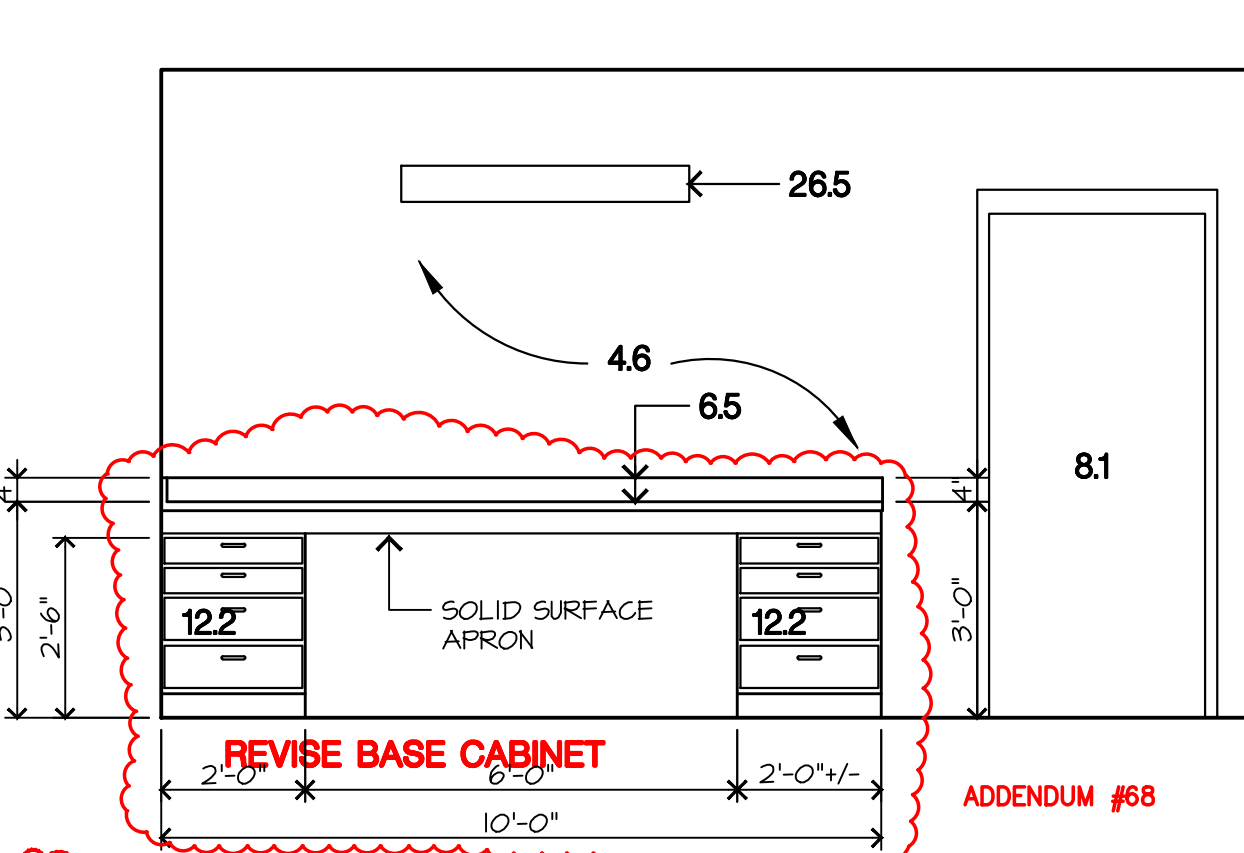
K ROLL AROUND CABT. Rm. 115
3/8"=1'-0"
1904e26.dwg 09/07/20



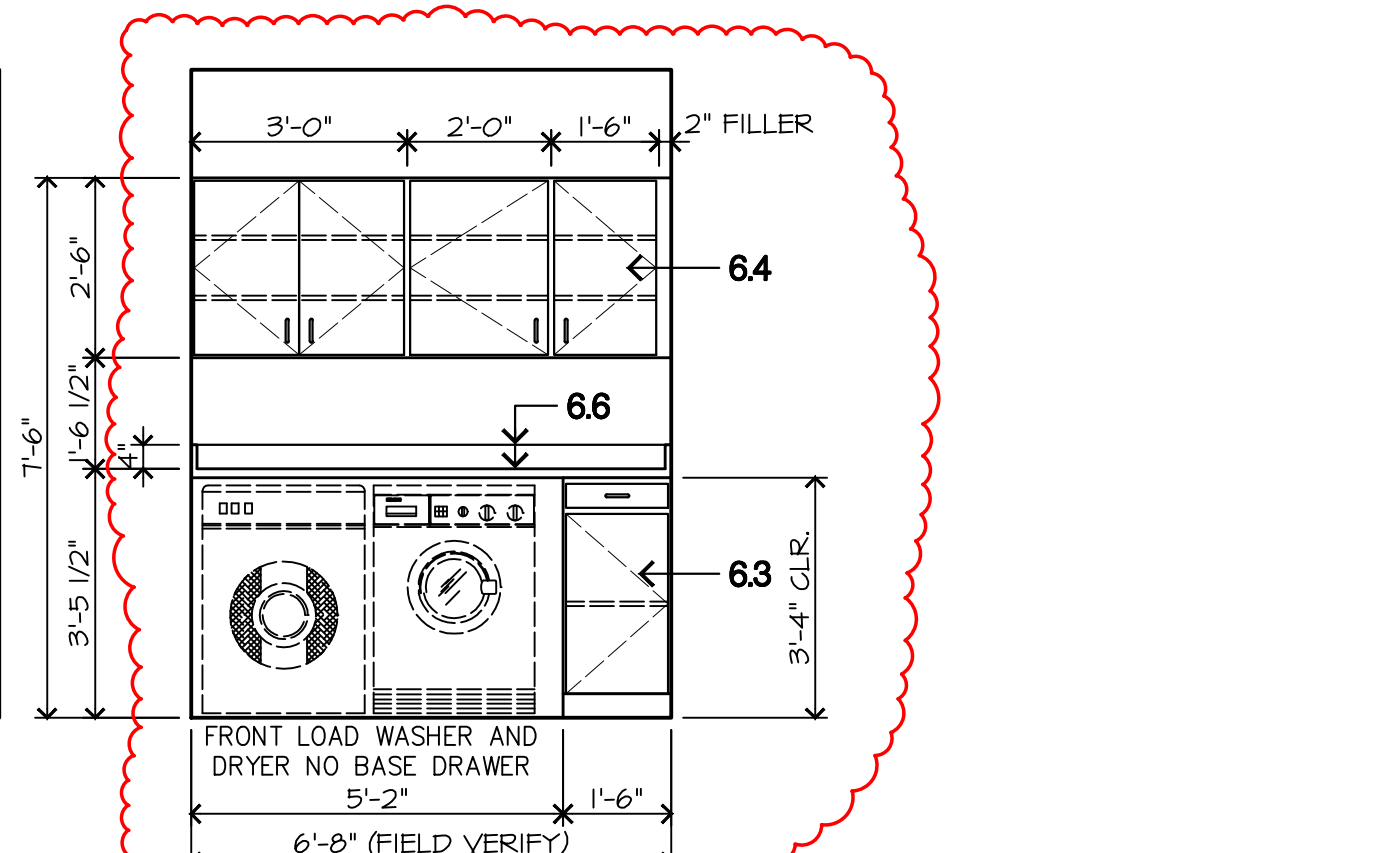
F CABINET ELEVATION Rm. 115
3/8"=1'-0"
1904e15.dwg 12/02/21



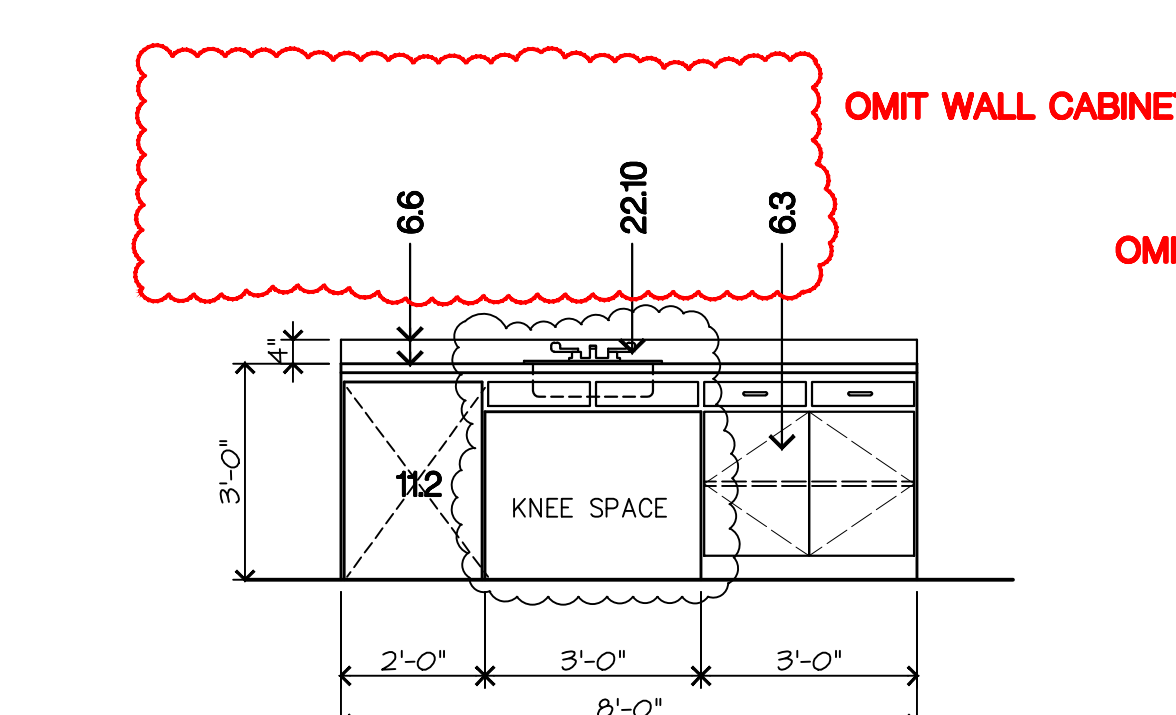
B CABINET ELEVATION Rm. 115
3/8"=1'-0"
1904e15.dwg 12/02/21



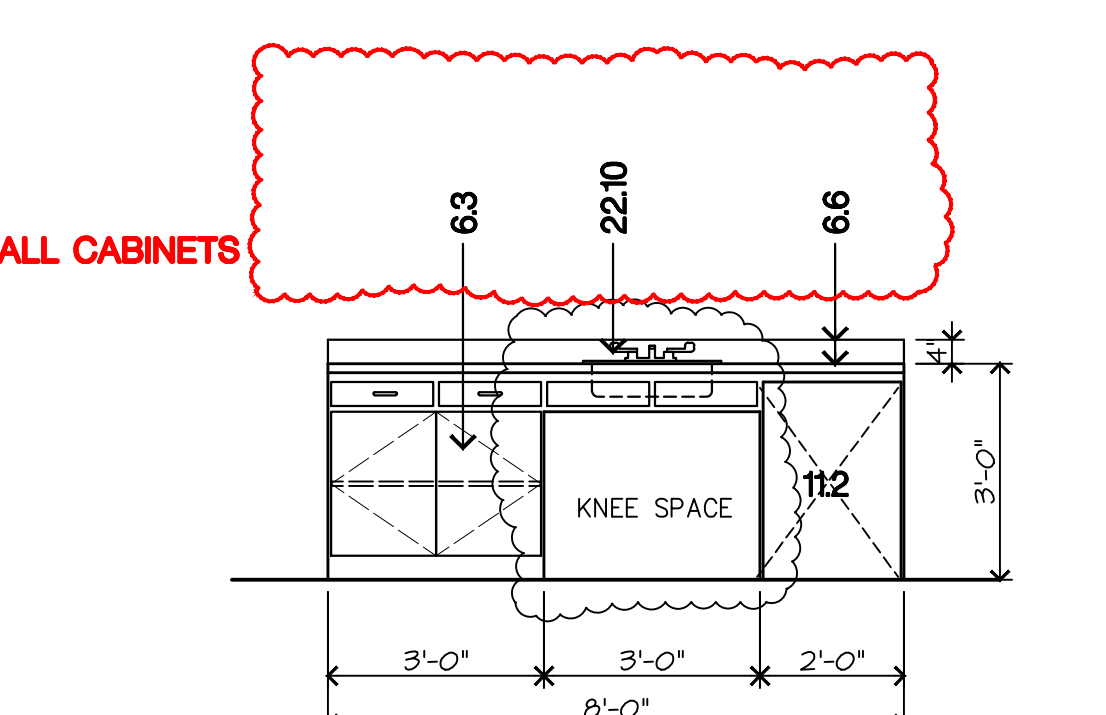
N CABINET ELEVATION Rm. 172B
3/8"=1'-0"
1904e28.dwg 12/01/21



J CABINET ELEVATION Rm. 215
3/8"=1'-0"
1904e19.dwg 11/12/21



E CABINET ELEVATION Rm. 155
3/8"=1'-0"
1904e15.dwg 12/02/21



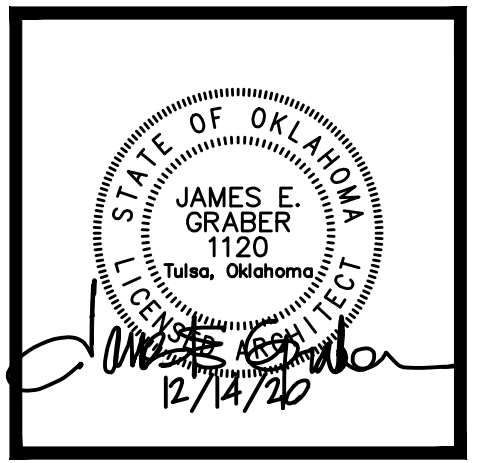
A CABINET ELEVATION Rm. 154
3/8"=1'-0"
1904e15.dwg 12/02/21

GRABER & ASSOCIATES, PC
2415 EAST SKELLY DRIVE - SUITE 101
TULSA, OKLAHOMA 74105-6076
918 - 747 - 8028 - FAX 1-866-927-0456

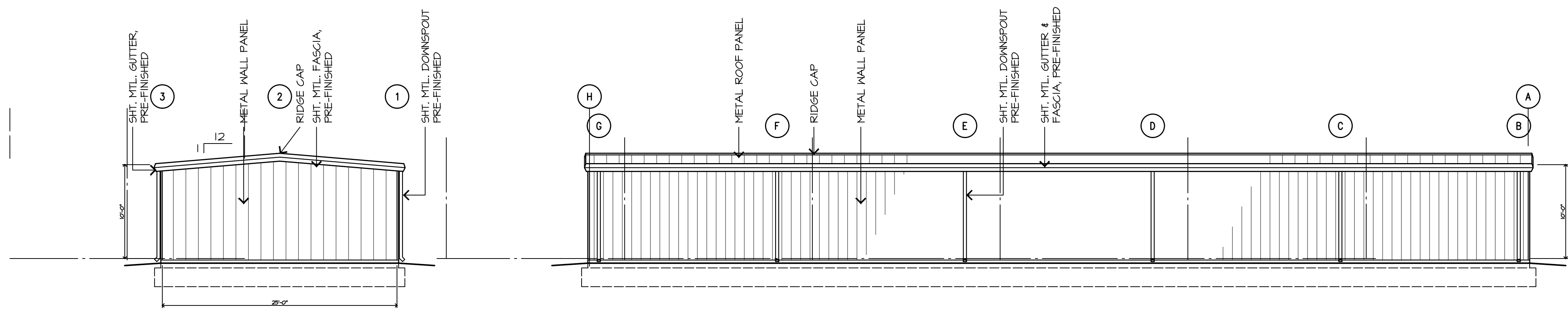
POLICE / FIRE EMERGENCY SERVICES CENTER
PRYOR CREEK, OK

PROJECT NO.: 1904
DATE ISSUED: December 14, 2020
DRAWN BY:
REVISIONS:
MAR 2, 2021
MAY 3, 2021
DEC 2, 2021

CABINET ELEVATIONS

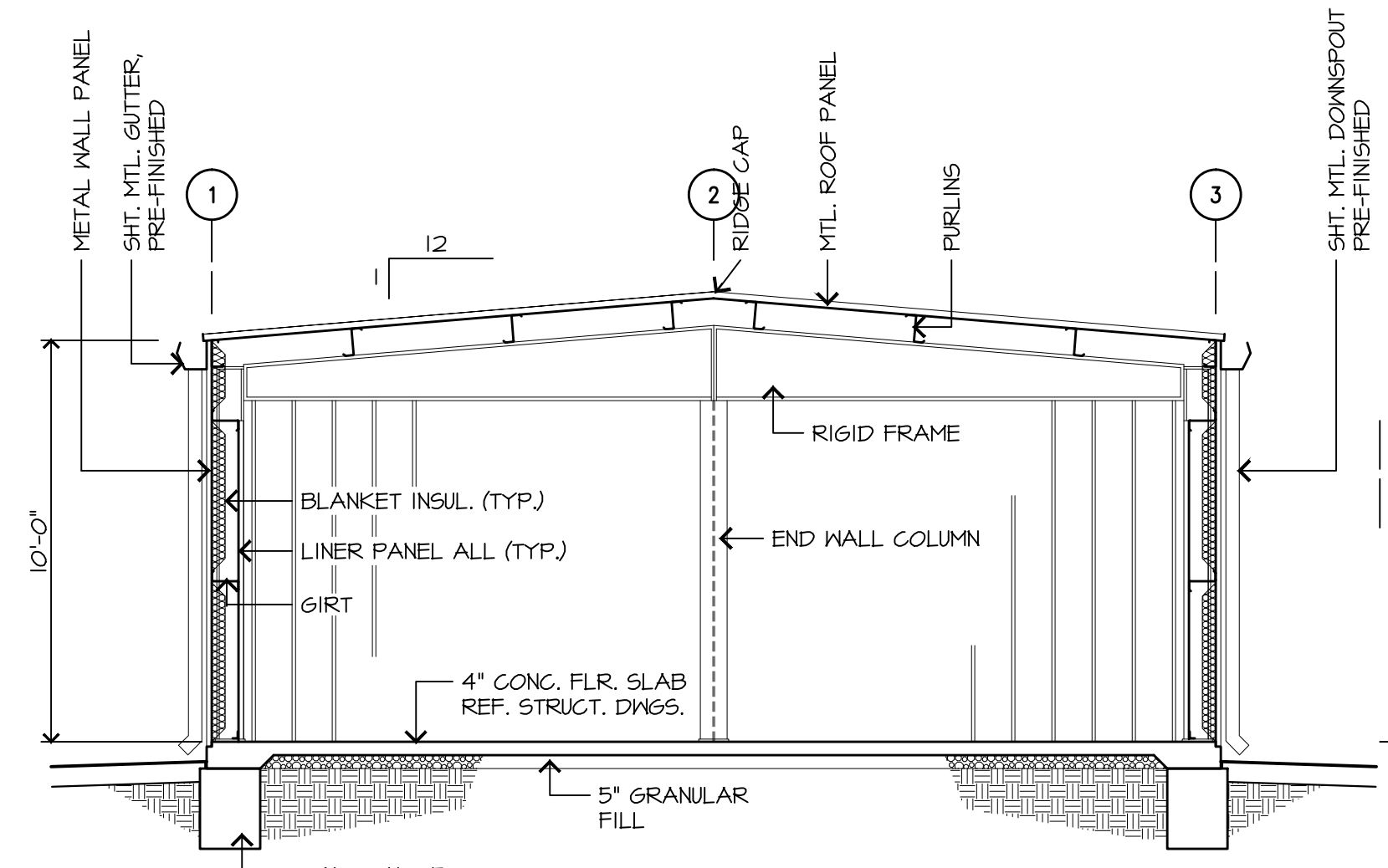


A11
of

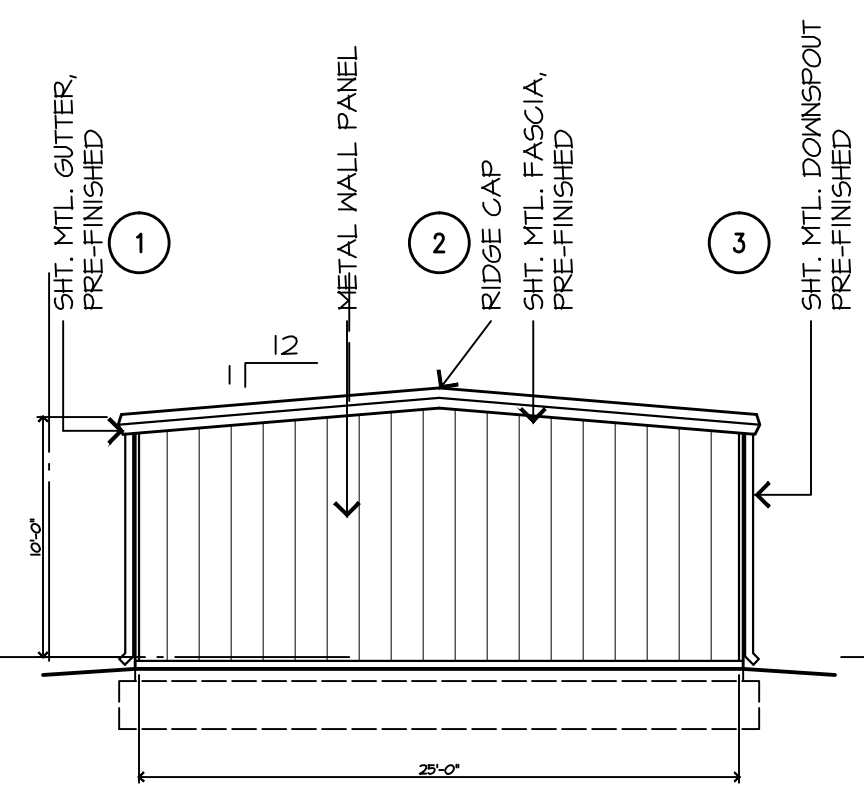


E WEST ELEVATION
 1/8"=1'-0"

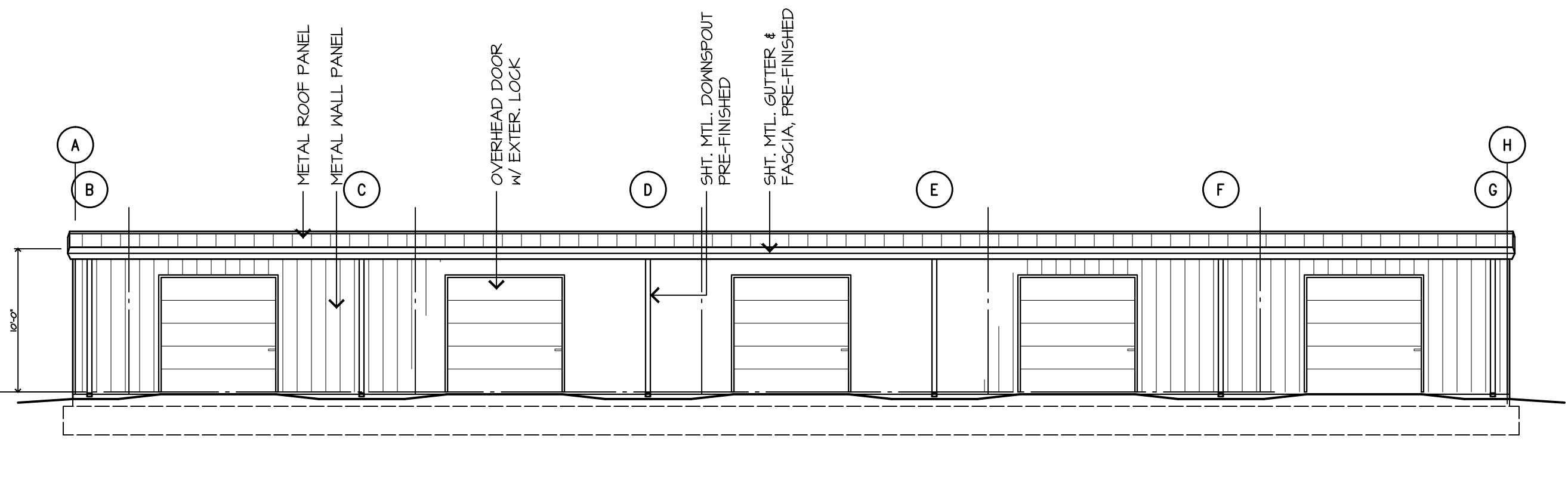
C SOUTH ELEVATION
 1/8"=1'-0"



F BUILDING SECTION
 1/4"=1'-0"



D EAST ELEVATION
 1/8"=1'-0"



B NORTH ELEVATION
 1/8"=1'-0"

DATE: 11/29/21

Branch Panel: SP1

Location: _____
 Supply From: _____
 Mounting: SURFACE
 Enclosure: NEMA 1

Volts: 120/240
 Mains Type: MCB
 Wires: 3

A.L.C. Rating: 22,000 AMPS SYMMETRICAL
 Mains Type: MCB
 Mains Rating: 150.0 A
 MCB Rating: 1.0 A

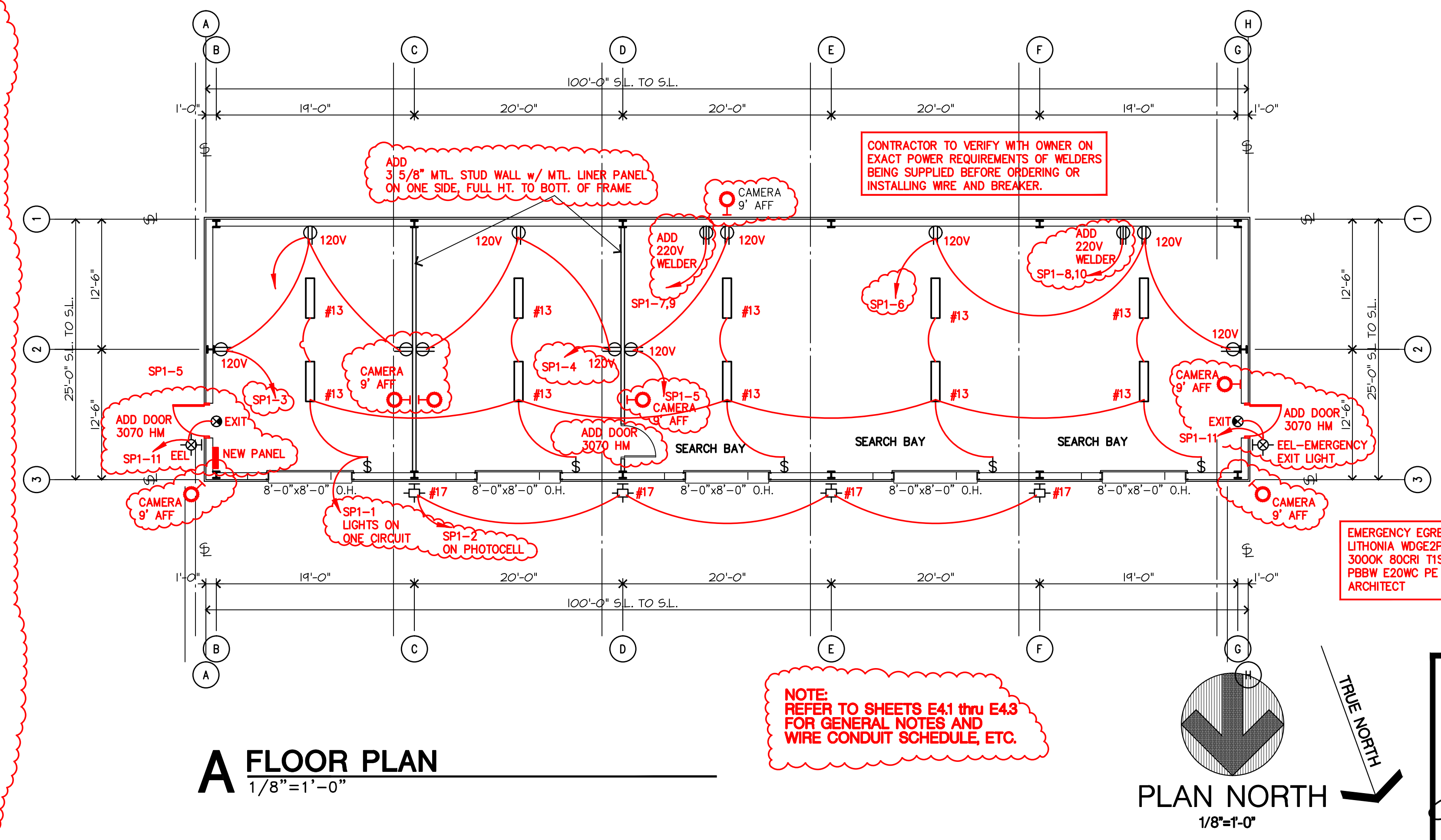
Notes:

CKT	Circuit Description	Trip	Poles	A	B	Poles	Trip	Circuit Description	CKT	
1	Lighting	20.0 A	1	224 VA	520 VA	1	20.0 A	Lighting	2	
3	RECEPS	20.0 A	1			1	20.0 A	RECEP	4	
5	RECEPS	20.0 A	1	540 VA	540 VA	1	20.0 A	Receptacle	6	
7	WELDER	60.0 A	2			2	60.0 A	WELDER	8	
9				1000 VA	5760 VA				10	
11	EXIT/EMERGENCY EGRESS LIGHTS	20.0 A	1			1	20.0 A	SPARE	12	
13	SPARE	20.0 A					20.0 A	SPARE	14	
15	SPARE	20.0 A					20.0 A	SPARE	16	
17									18	
19									20	
21									22	
23									24	
25									26	
27									28	
29									30	
31									32	
33									34	
35									36	
37									38	
39									40	
41									42	
				Total Load:	8584 VA	8980 VA				
				Total Amps:	71.5 A	74.8 A				

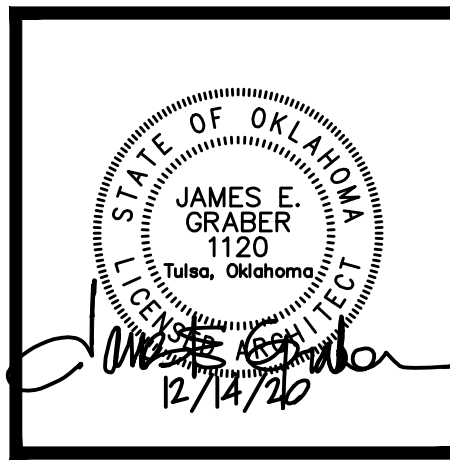
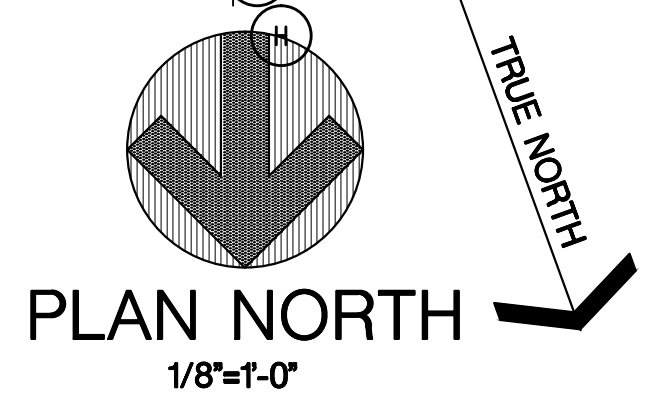
Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Power	13520 VA	100.00%	13520 VA	Total Conn. Load: 17564 VA Total Est. Demand: 17750 VA Total Conn.: 73.2 A Total Est. Demand: 74.0 A
Lighting	744 VA	125.00%	930 VA	
Receptacle	3300 VA	100.00%	3300 VA	

Notes:



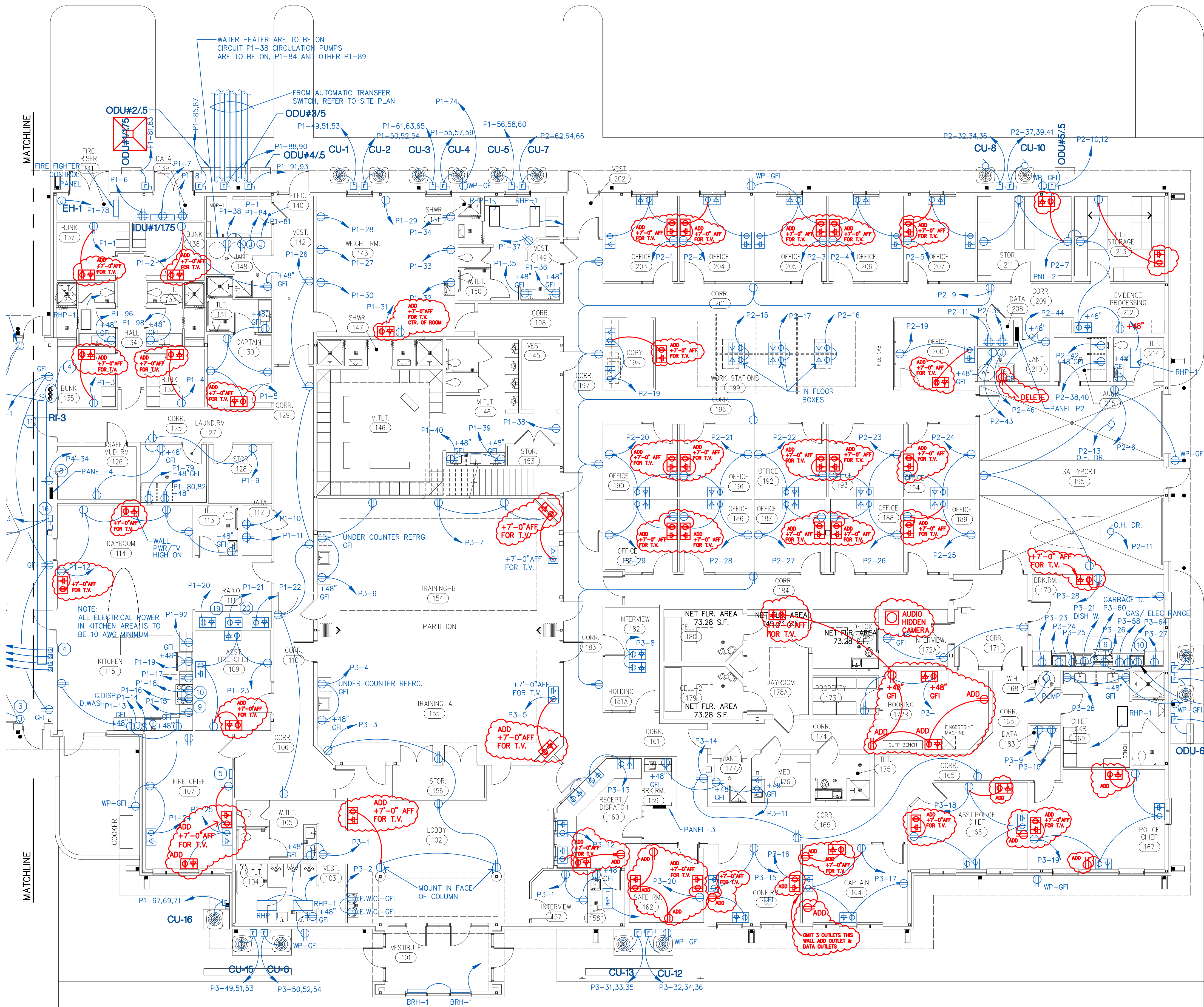
A FLOOR PLAN
 1/8"=1'-0"



NOTE: REFER TO SHEETS E41 thru E43 FOR GENERAL NOTES AND WIRE CONDUIT SCHEDULE, ETC.

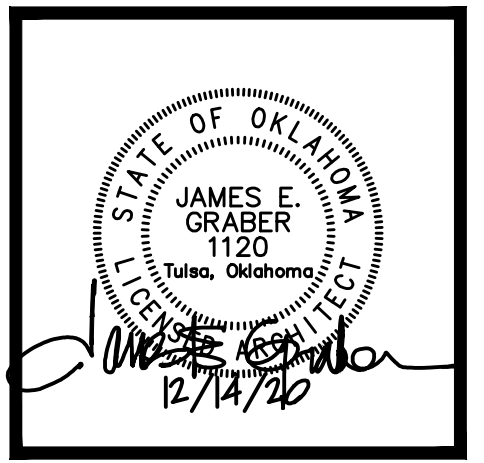
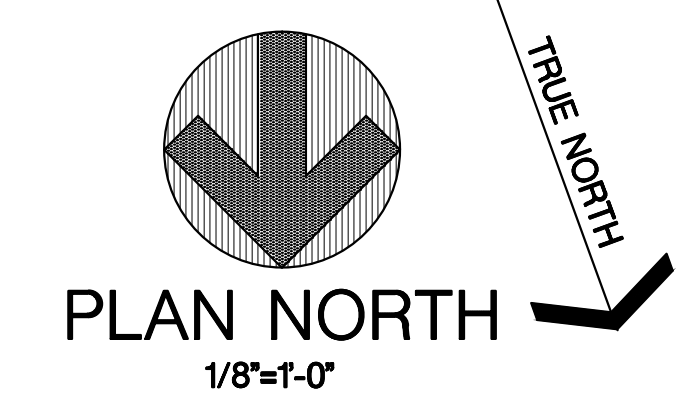
CONTRACTOR TO VERIFY WITH OWNER ON EXACT POWER REQUIREMENTS OF WELDERS BEING SUPPLIED BEFORE ORDERING OR INSTALLING WIRE AND BREAKER.

EMERGENCY EGRESS LIGHT LITHONIA WDG2P1 LED 10W 3000K B0CR1 T15 MVOLT SRM PBBW E20WC PE COLOR PER ARCHITECT



- ### ELECTRICAL KEY NOTES:
- OVERHEAD DOOR OPERATORS. INSTALL ALL LINE & CONTROL WIRING. COORDINATE EXACT LOCATIONS WITH EQUIPMENT SUPPLIER. PROVIDE DISCONNECTING MEANS OR RECEPTACLE AS REQUIRED.
 - PROVIDE ALL CONNECTION TO AIR COMPRESSOR.
 - PNEUMATIC & PHOTOELECTRIC SAFETY FOR GARAGE DOORS. CONTRACTOR IS TO INSTALL ALL CONTROL RACEWAY AND WIRE (6 WIRES PER DOOR). COORDINATE EXACT LOCATIONS & ALL REQUIREMENTS WITH EQUIPMENT SUPPLIER.
 - DOOR CONTROLLER. CONTRACTOR IS TO PROVIDE AND INSTALL ALL CONTROL WIRING, IN CONDUIT. COORDINATE EXACT LOCATION WITH OTHER EQUIPMENT ON THIS WALL. COORDINATE ALL REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
 - GENERATOR REMOTE ANNUNCIATOR. PROVIDE ALL MATERIAL NEEDED. COORDINATE EXACT LOCATION WITH CONTRACT ADMINISTRATOR PRIOR TO ROUGH-IN. LOCATE IN DISPATCH ROOM 160.
 - PROVIDE ALL CONNECTIONS TO VEHICLE WASHING EQUIPMENT PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
 - NOT USED
 - SHORE POWER. COORDINATE THIS LOCATION WITH CITY OF ARCHITECT PRIOR TO ROUGHING IN.
 - MAKE ALL CONNECTION TO VENT HOOD AS REQUIRED. REFER TO E1.1
 - BOTH RANGE RECEPTACLES, AS WELL AS GAS SOLENOID, ARE TO BE CONTROLLED VIA THE ISOMET CONTROL SYSTEM. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING CONTRACTOR THE EXACT LOCATIONS OF COMPONENTS. PROVIDE ALL CONTRACTORS, ENCLOSURES, CONTROL ETC. FOR A COMPLETE CONTROL SYSTEM. REFER TO E1.1.
 - CONTRACTOR IS TO COORDINATE WITH MECHANICAL CONTRACTOR ON ALL REQUIREMENTS WITH RADIANT TUBE HEATER AND THERMOSTAT CONTROLS
 - PROVIDE ALL CONNECTION TO SCBA STATION.
 - PROVIDE ALL CONNECTION TO DRYER & EXTRACTOR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY ACTUAL REQUIREMENTS BEFORE ORDERING EQUIPMENT.
 - EXACT GENSET LOCATION IS TO BE COORDINATED WITH ARCHITECT.
 - ELECTRICAL SERVICE FEEDER CONDUITS. TURN NO LESS THAN (3) 4" C. FOR ELECTRICAL SERVICE NEEDS. CONTRACTOR IS COORDINATE ALL SERVICE REQUIREMENTS WITH THE SERVING UTILITY. PRIOR TO BIDDING THIS PROJECT, AND SHALL INCLUDE ALL COSTS FOR PRIMARY AND SECONDARY FEEDERS, TRENCHING, BACKFILL, COMPACTION, GROUNDING, TRANSFORMER PAD AND ALL REQUIRED ITEMS FOR A COMPLETE ELECTRICAL SERVICE PER THE UTILITY REQUIREMENTS. REFER TO SITE PLAN FOR LOCATION.
 - CONTRACTOR IS TO COORDINATE ALL POWER REQUIREMENTS FOR HVLS FANS AND CONTROLS.
 - POWER REEL HUBBELL HBL45123R WITH GFI RECEPTACLE. COORDINATE EXACT LOCATION WITH ARCHITECT.
 - NOT USED
 - COORDINATE EXACT ELEVATION OF RECEPTACLES BELOW COUNTER TOP WITH ARCHITECT PRIOR TO ROUGH-IN.
 - COORDINATE EXACT LOCATION AND HEIGHT OF ZETRON POWER DUPLEX RECEPTACLE WITH OWNER PRIOR TO ROUGH-IN.

RED INDICATES LOCATION OF ADDED POWER/DATA OUTLETS REQUESTED BY OWNER. ELECTRICIAN SHALL BE RESPONSIBLE FOR MODIFYING CIRCUITS AS REQUIRED.



GRABER & ASSOCIATES, PC
 2415 EAST SKELLY DRIVE - SUITE 101
 TULSA, OKLAHOMA 74105-6076
 918 - 747 - 8028 - FAX 1-866-927-0456

POLICE / FIRE EMERGENCY SERVICES CENTER
 PRYOR CREEK, OK

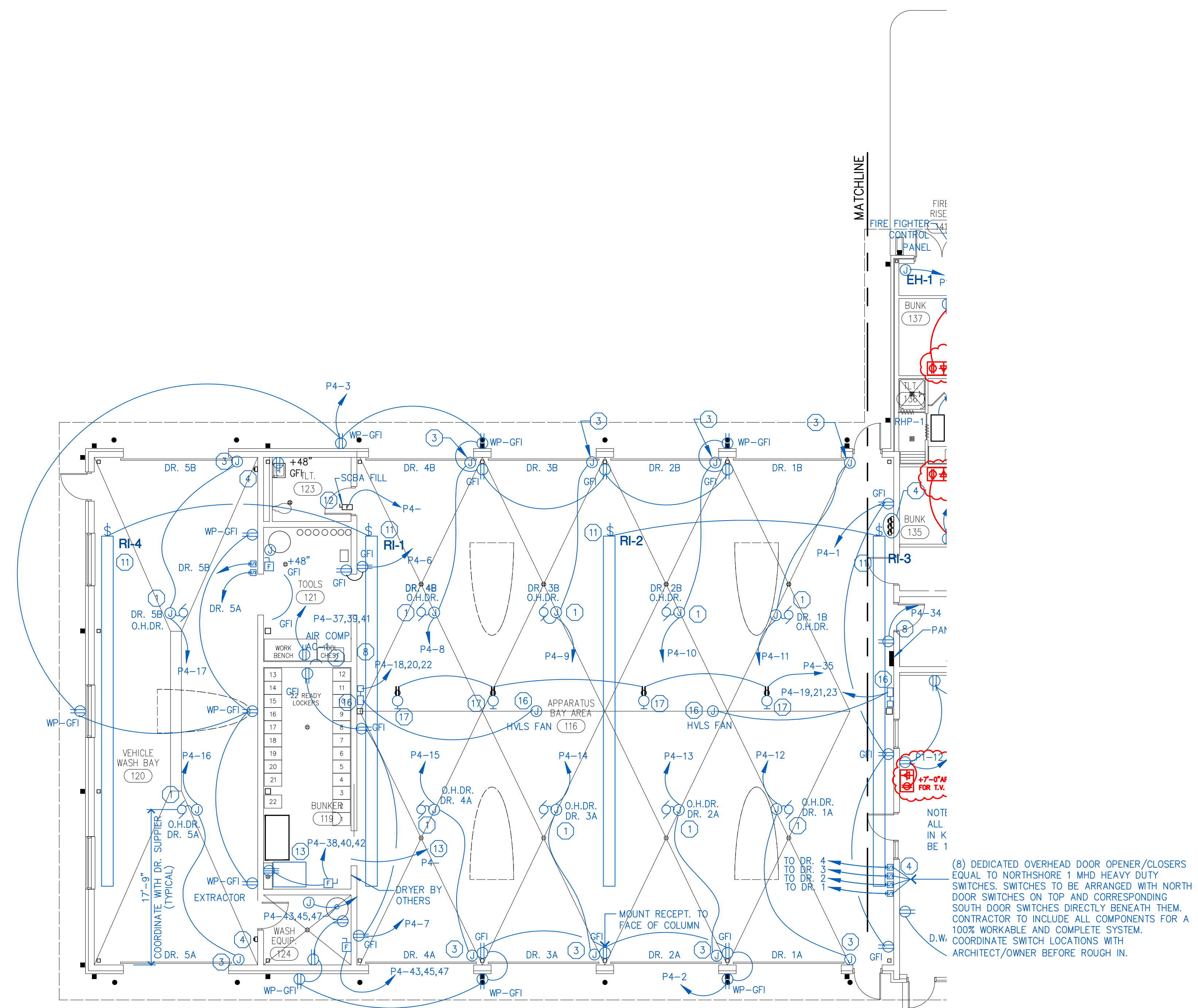
PROJECT NO.: 1904
 DATE ISSUED: December 14, 2020
 DRAWN BY:
 REVISIONS:
 10 Oct 2021
 17 Nov 2021
 3 Dec 2021

POWER PLAN

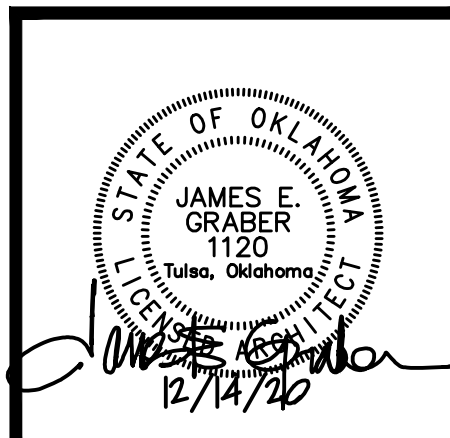
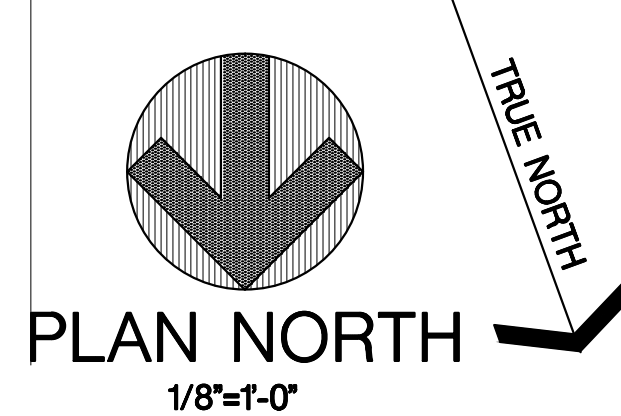
E1.1
 of

ELECTRICAL KEY NOTES:

- 1 OVERHEAD DOOR OPERATORS. INSTALL ALL LINE & CONTROL WIRING. COORDINATE EXACT LOCATIONS WITH EQUIPMENT SUPPLIER. PROVIDE DISCONNECTING MEANS OR RECEPTACLE AS REQUIRED.
- 2 PROVIDE ALL CONNECTION TO AIR COMPRESSOR.
- 3 PNEUMATIC & PHOTOELECTRIC SAFETY FOR GARAGE DOORS. CONTRACTOR IS TO INSTALL ALL CONTROL RACEWAY AND WIRE (6 WIRES PER DOOR). COORDINATE EXACT LOCATIONS & ALL REQUIREMENTS WITH EQUIPMENT SUPPLIER.
- 4 DOOR CONTROLLER. CONTRACTOR IS TO PROVIDE AND INSTALL ALL CONTROL WIRING. IN CONDUIT. COORDINATE EXACT LOCATION WITH OTHER EQUIPMENT ON THIS WALL. COORDINATE ALL REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH IN.
- 5 GENERATOR REMOTE ANNUNCIATOR. PROVIDE ALL MATERIAL NEEDED. COORDINATE EXACT LOCATION WITH CONTRACT ADMINISTRATOR PRIOR TO ROUGH-IN. LOCATE IN DISPATCH ROOM 160.
- 6 PROVIDE ALL CONNECTIONS TO VEHICLE WASHING EQUIPMENT PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
- 7 NOT USED
- 8 SHORE POWER. COORDINATE THIS LOCATION WITH CITY OF ARCHITECT PRIOR TO ROUGHING IN.
- 9 MAKE ALL CONNECTION TO VENT HOOD AS REQUIRED. REFER TO E1.1
- 10 BOTH RANGE RECEPTACLES, AS WELL AS GAS SOLENOID, ARE TO BE CONTROLLED VIA THE ISOMET CONTROL SYSTEM. REFER TO PLUMBING DRAWINGS AND COORDINATE WITH PLUMBING CONTRACTOR THE EXACT LOCATIONS OF COMPONENTS. PROVIDE ALL CONTACTORS, ENCLOSURES, CONTROL ETC. FOR A COMPLETE CONTROL SYSTEM. REFER TO E1.1.
- 11 CONTRACTOR IS TO COORDINATE WITH MECHANICAL CONTRACTOR ON ALL REQUIREMENTS WITH RADIANT TUBE HEATER AND THERMOSTAT CONTROLS
- 12 PROVIDE ALL CONNECTION TO SCBA STATION.
- 13 PROVIDE ALL CONNECTION TO DRYER & EXTRACTOR PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY ACTUAL REQUIREMENTS BEFORE ORDERING EQUIPMENT.
- 14 EXACT GENSET LOCATION IS TO BE COORDINATED WITH ARCHITECT.
- 15 ELECTRICAL SERVICE FEEDER CONDUITS. TURN NO LESS THAN (3) 4" C. FOR ELECTRICAL SERVICE NEEDS. CONTRACTOR IS COORDINATE ALL SERVICE REQUIREMENTS WITH THE SERVING UTILITY. PRIOR TO BIDDING THIS PROJECT, AND SHALL INCLUDE ALL COSTS FOR PRIMARY AND SECONDARY FEEDERS, TRENCHING, BACKFILL, COMPACTION, GROUNDING, TRANSFORMER PAD AND ALL REQUIRED ITEMS FOR A COMPLETE ELECTRICAL SERVICE PER THE UTILITY REQUIREMENTS. REFER TO SITE PLAN FOR LOCATION.
- 16 CONTRACTOR IS TO COORDINATE ALL POWER REQUIREMENTS FOR HVLS FANS AND CONTROLS.
- 17 POWER REEL HUBBELL HBL45123R WITH GFI RECEPTACLE. COORDINATE EXACT LOCATION WITH ARCHITECT.
- 18 NOT USED
- 19 COORDINATE EXACT ELEVATION OF RECEPTACLES BELOW COUNTER TOP WITH ARCHITECT PRIOR TO ROUGH-IN.
- 20 COORDINATE EXACT LOCATION AND HEIGHT OF ZETRON POWER DUPLEX RECEPTACLE WITH OWNER PRIOR TO ROUGH-IN.



(8) DEDICATED OVERHEAD DOOR OPENER/CLOSERS EQUAL TO NORTHSORE 1 MHD HEAVY DUTY SWITCHES. SWITCHES TO BE ARRANGED WITH NORTH DOOR SWITCHES ON TOP AND CORRESPONDING SOUTH DOOR SWITCHES DIRECTLY BENEATH THEM. CONTRACTOR TO INCLUDE ALL COMPONENTS FOR A 100% WORKABLE AND COMPLETE SYSTEM. COORDINATE SWITCH LOCATIONS WITH ARCHITECT/OWNER BEFORE ROUGH IN.



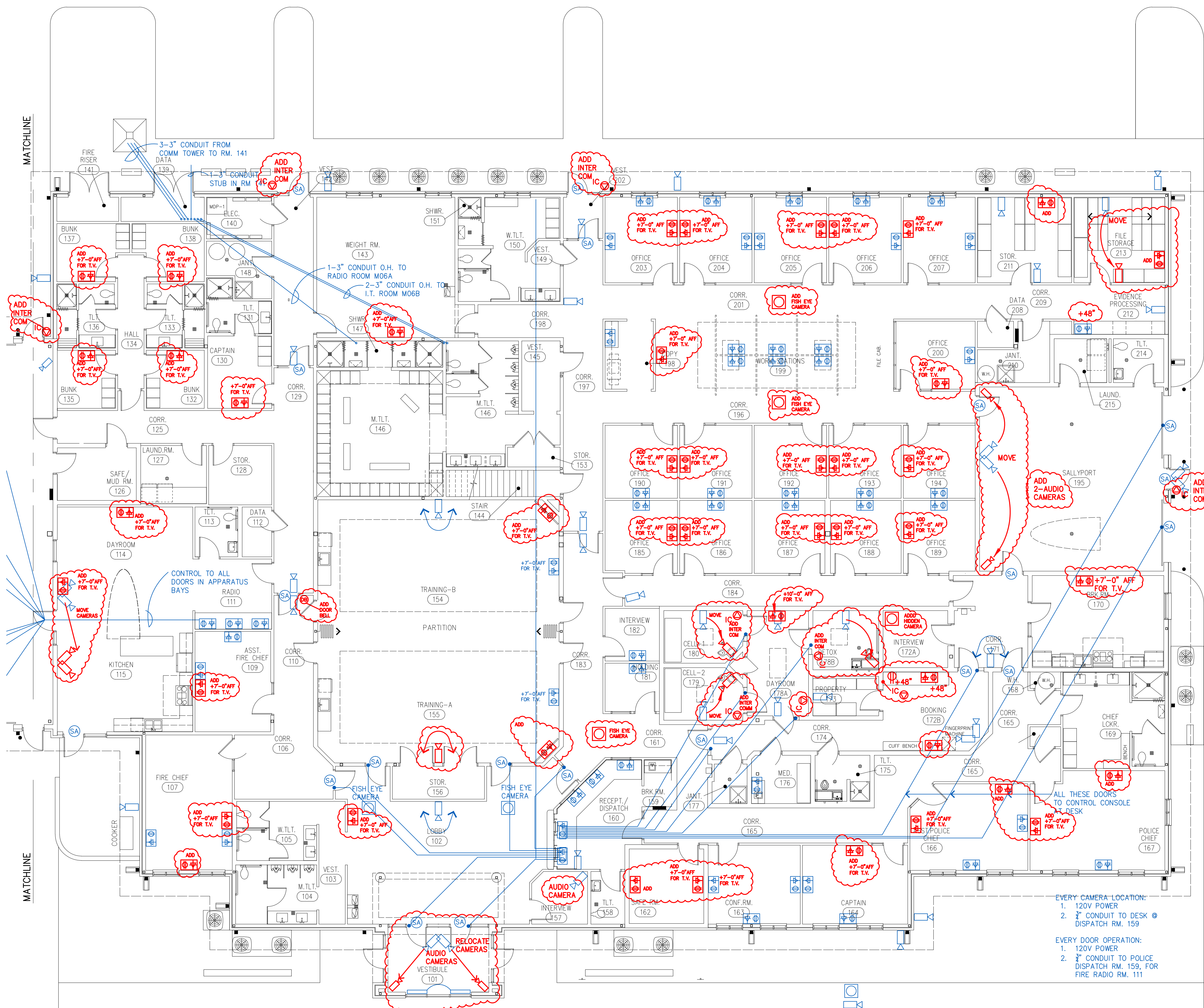
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 2415 EAST SKELLY DRIVE - SUITE 101
 TULSA, OKLAHOMA 74105-6076
 918 - 747 - 8028 - FAX 1-866-927-0456

POLICE / FIRE EMERGENCY SERVICES CENTER
 PRYOR CREEK, OK

PROJECT NO.: 1904
 DATE ISSUED: December 14, 2020
 DRAWN BY:
 REVISIONS:
 10 Oct 2021
 17 Nov 2021
 3 Dec 2021

POWER PLAN

E1.2 of



MATCHLINE

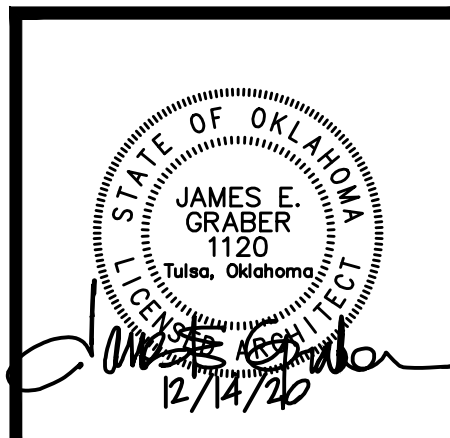
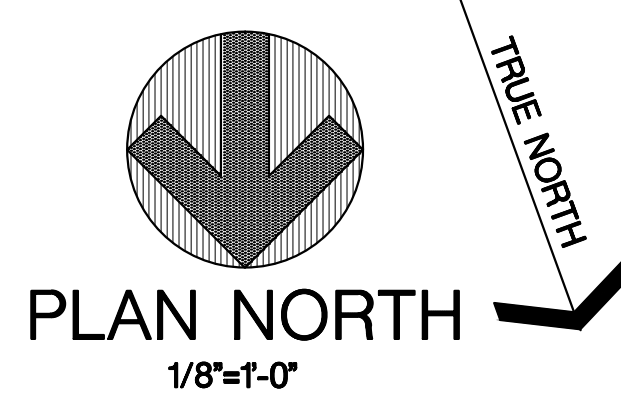
MATCHLINE

GENERAL NOTE:
IF ANY WIRE MOLD IS TO BE USED
MUST BE STEEL MATERIAL

**RED INDICATES LOCATIONS OF ADDED
DATA, CAMERAS, INTERCOM and DOOR BELL
LOCATIONS REQUESTED BY OWNER.
ELECTRICIAN SHALL BE RESPONSIBLE
FOR MODIFYING AS REQUIRED.**

- EVERY CAMERA LOCATION:
1. 120V POWER
 2. 3/4" CONDUIT TO DESK @ DISPATCH RM. 159
- EVERY DOOR OPERATION:
1. 120V POWER
 2. 3/4" CONDUIT TO POLICE DISPATCH RM. 159, FOR FIRE RADIO RM. 111

CAMERA LOCATION
DOOR ELECTRONIC SECURITY ACCESS



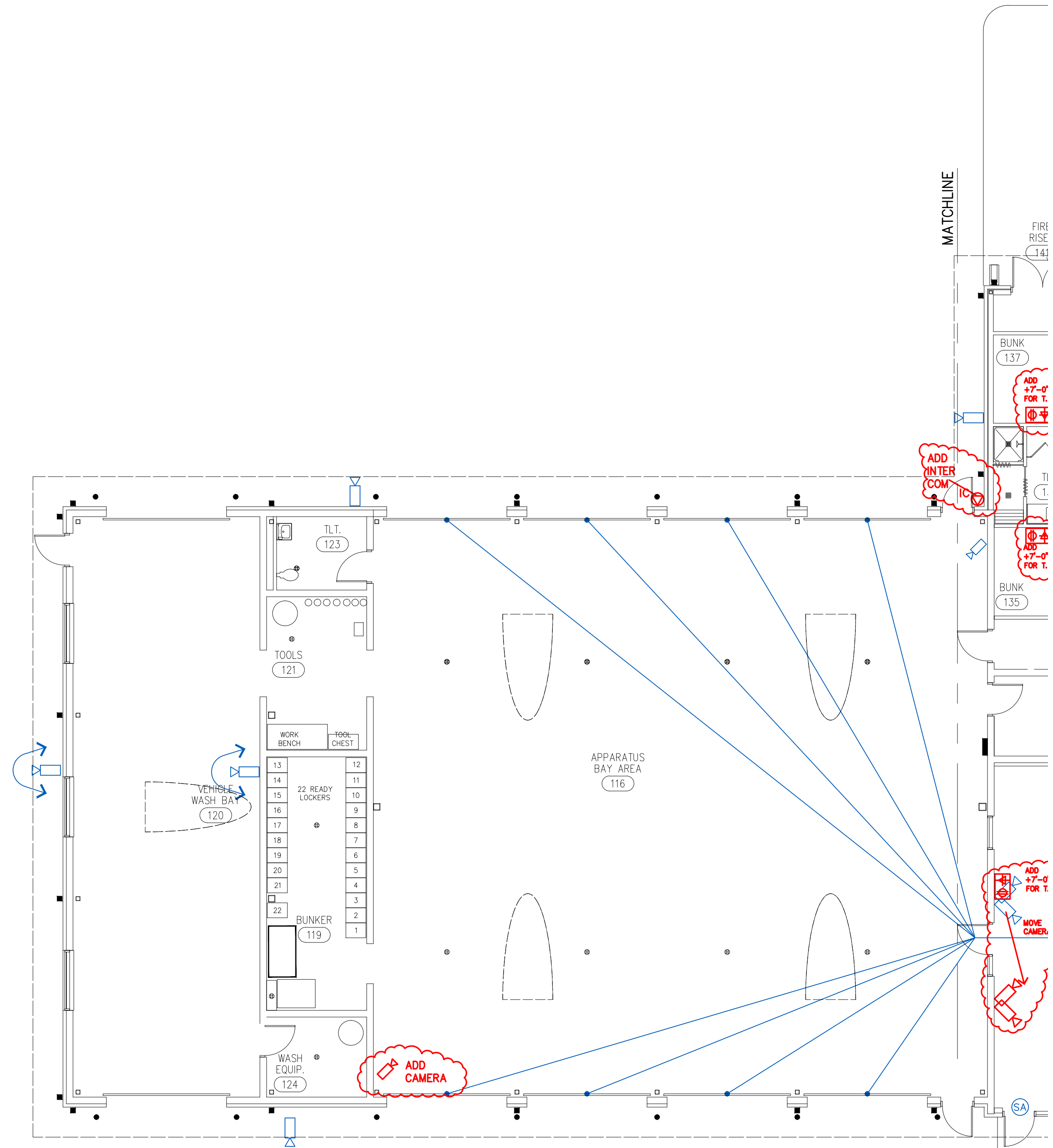
GRABER & ASSOCIATES, PC
2415 EAST SKELLY DRIVE - SUITE 101
TULSA, OKLAHOMA 74105-6076
918 - 747 - 8028 - FAX 1-866-927-0456

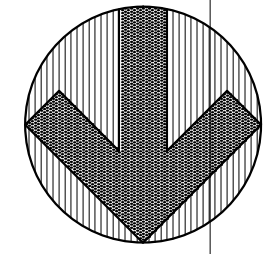
**POLICE / FIRE EMERGENCY
SERVICES CENTER**
PRYOR CREEK, OK

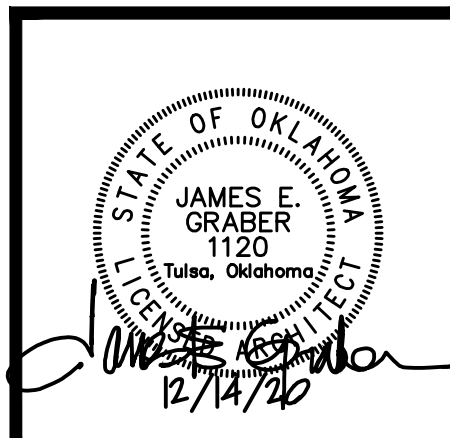
PROJECT NO.: 1904
DATE ISSUED: December 14, 2020
DRAWN BY:
REVISIONS:
10 Oct 2021
17 Nov 2021
3 Dec 2021

**MAIN LEVEL
DATA/CONTROL PLAN**

E3.1
of




PLAN NORTH
 1/8"=1'-0"



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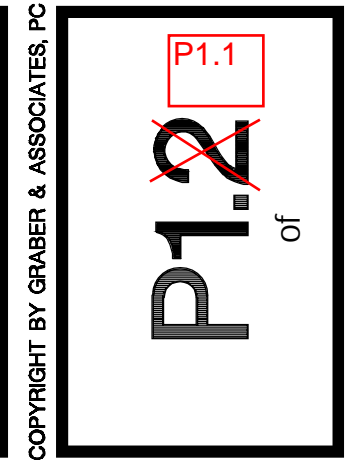
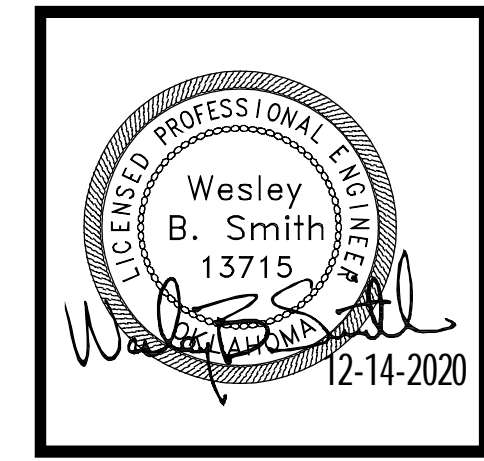
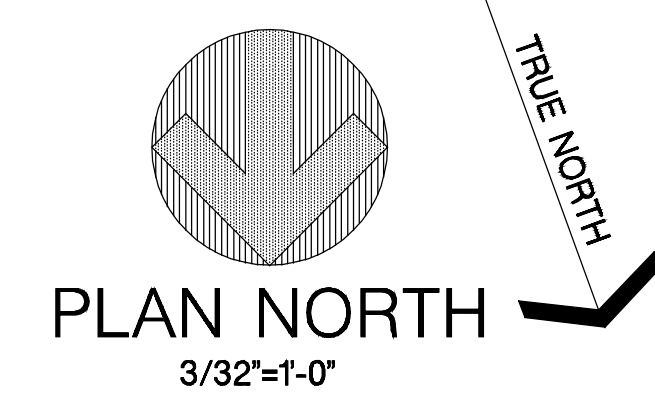
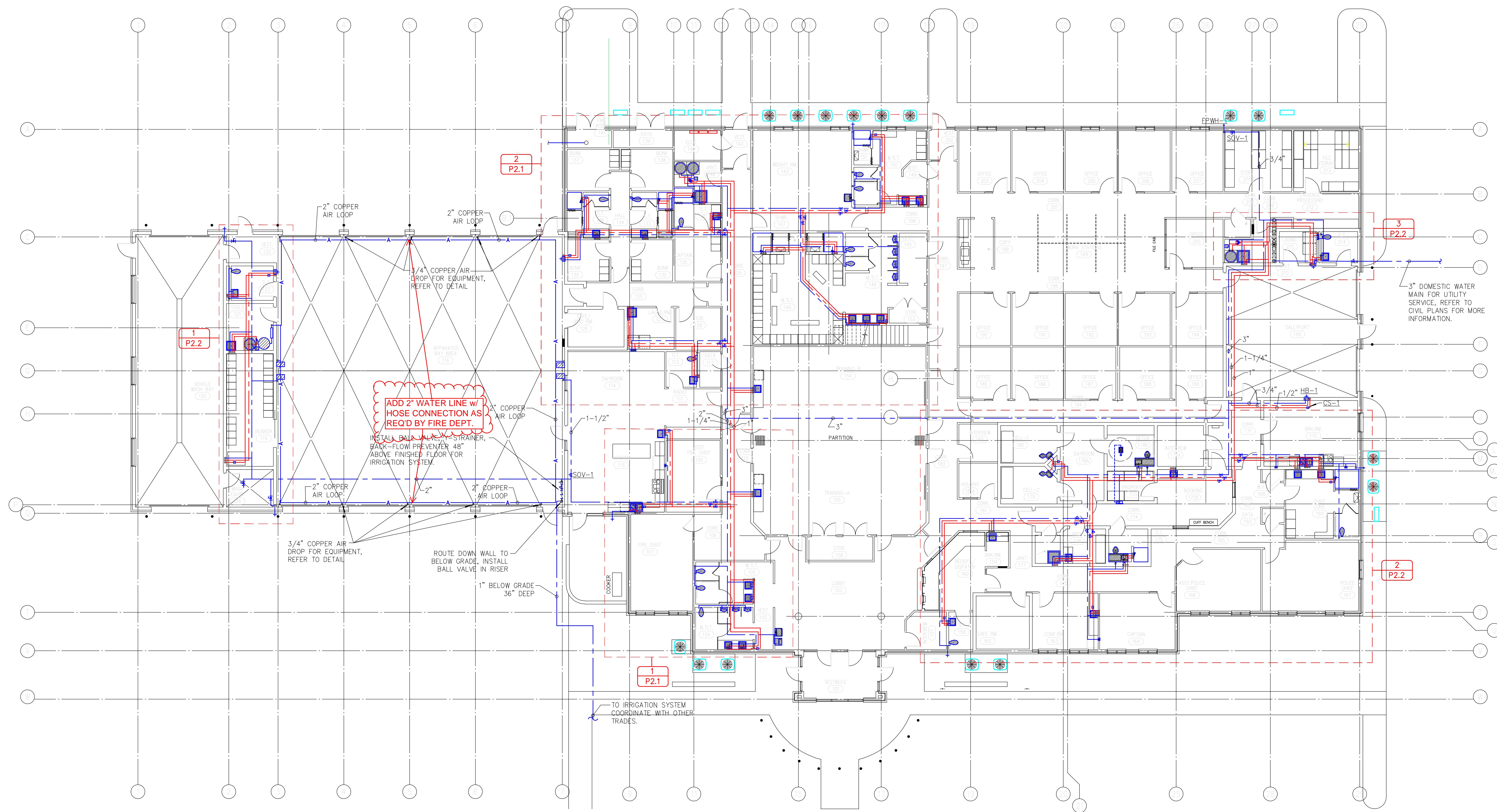
E3.2
of

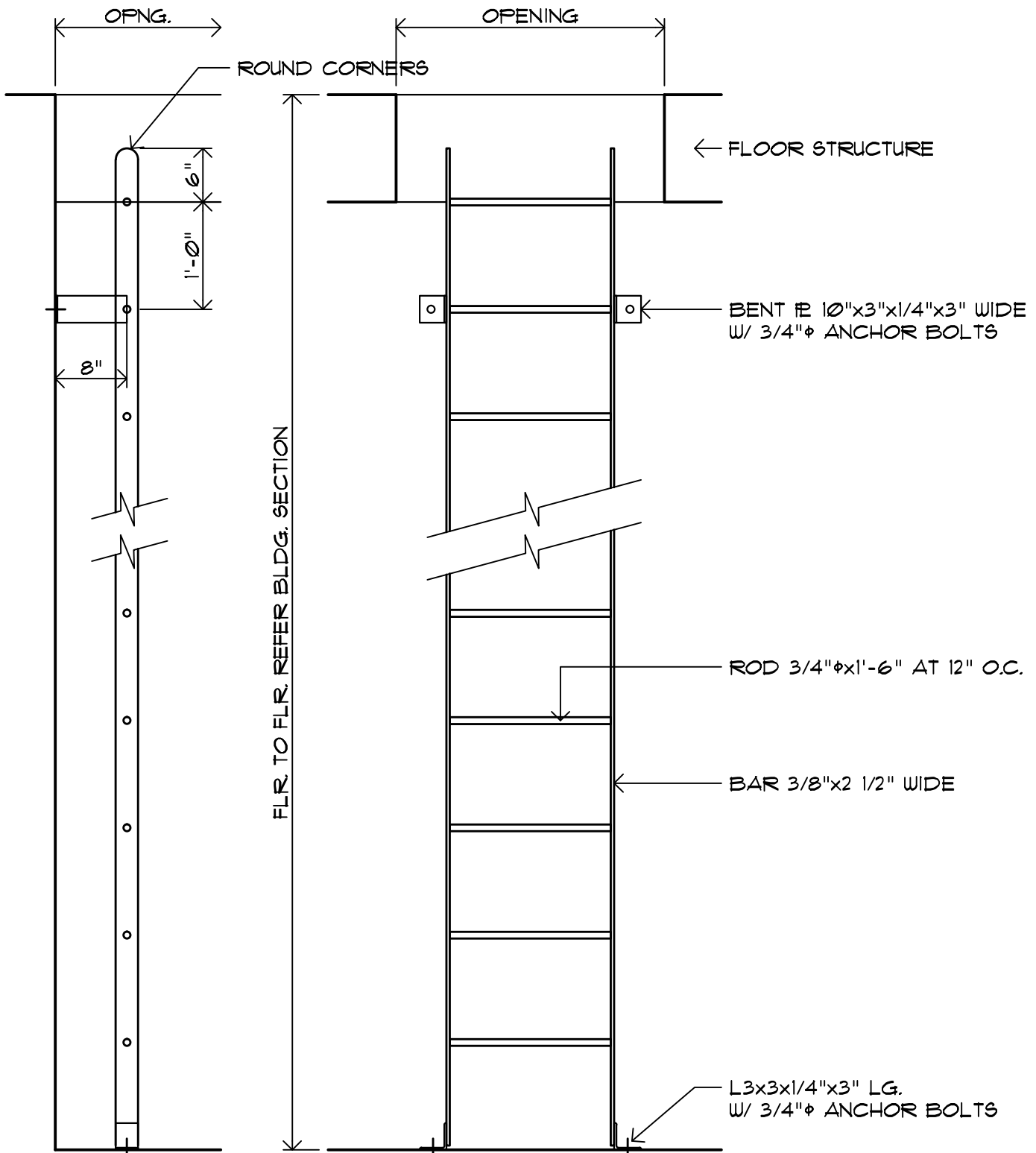
**MAIN LEVEL
DATA/CONTROL PLAN**

PROJECT NO.: 1904
 DATE ISSUED: December 14, 2020
 DRAWN BY:
 REVISIONS:
 10 Oct 2021
 17 Nov 2021
 3 Dec 2021

**POLICE / FIRE EMERGENCY
SERVICES CENTER**
 PRYOR CREEK, OK

GRABER & ASSOCIATES, PC
 2415 EAST SKELLY DRIVE - SUITE 101
 TULSA, OKLAHOMA 74105-6076
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STEEL LADDER

12/01/21

05500027.dwg 12/01/21

16

Proposal Request #06 : Plumbing Changes

Project Name: Police and Fire Emergency Services Center
and City Library Additions for the City of
Pryor Creek
505 East Graham Avenue
Pryor Creek, OK 74361

Architect: Graber and Associates
2415 East Skelly Drive, Suite 101
Tulsa, OK 74105-6076
918-747-8028

Construction Manager: CMSWillowbrook
1637 S. Boston Ave
Tulsa, OK 74119
918-252-0585

Issue Date: December 13, 2021

Summary of Changes (includes but is not limited to):

M1.3

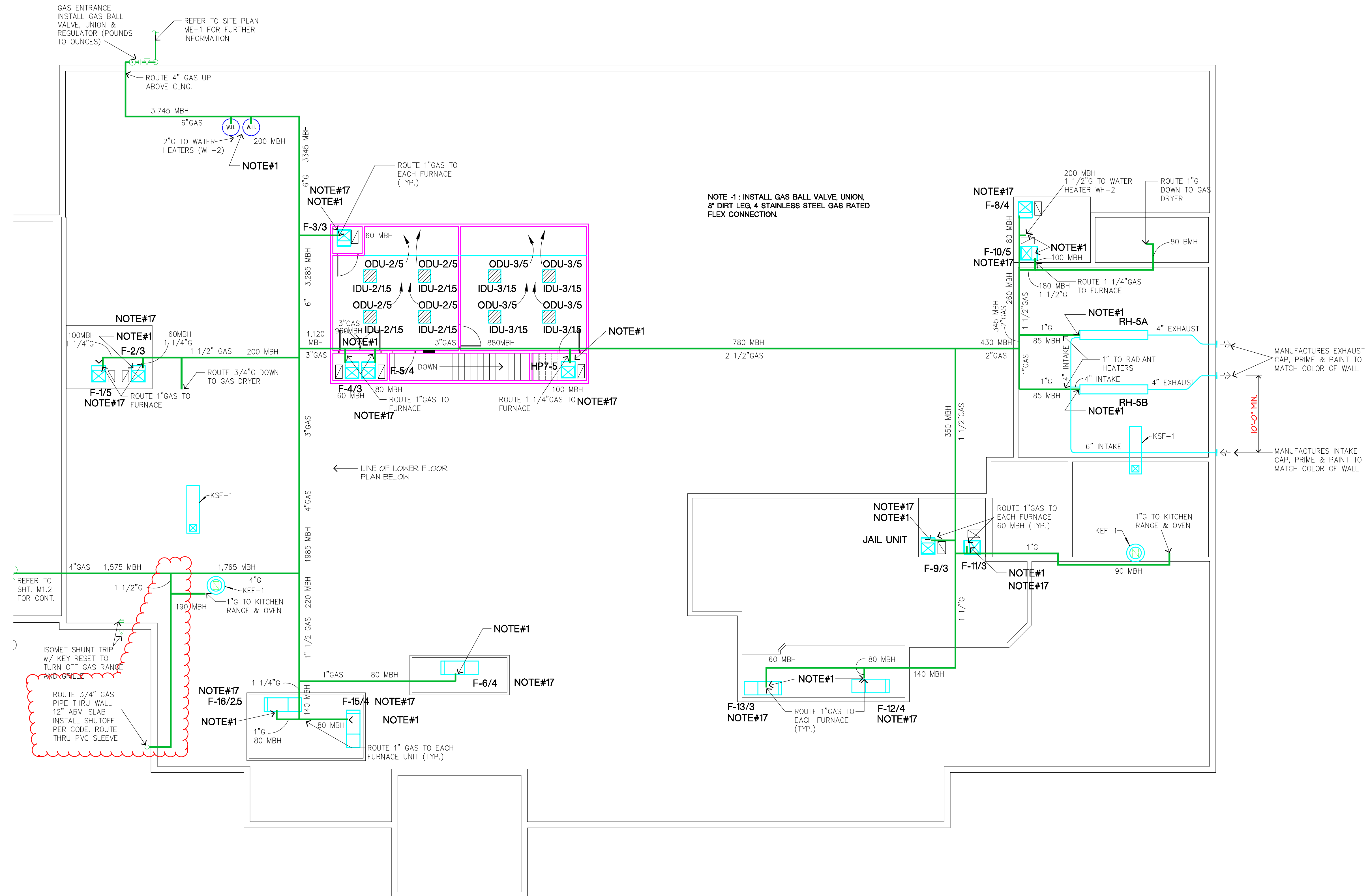
- Add gas line to exterior wall with shutoff. Provide and coordinate sleeves as required.

P1.1

- Remove hot and cold water line at deleted sink in Conference Room 163.

P1.2

- Remove vent for deleted sink in Conference Room 163. Underground sanitary line already installed. Abandon in place.



GAS ENTRANCE
INSTALL GAS BALL
VALVE, UNION &
REGULATOR (POUNDS
TO OUNCES)

REFER TO SITE PLAN
ME-1 FOR FURTHER
INFORMATION

NOTE -1 : INSTALL GAS BALL VALVE, UNION,
8" DIRT LEG, 4 STAINLESS STEEL GAS RATED
FLEX CONNECTION.

TRUE NORTH

PLAN NORTH

1/8"=1'-0"

LICENSED PROFESSIONAL ENGINEER

Wesley
B. Smith
13715

12-14-2020

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M1.3
of

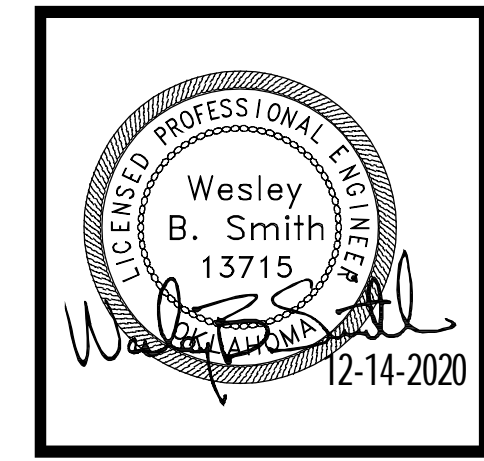
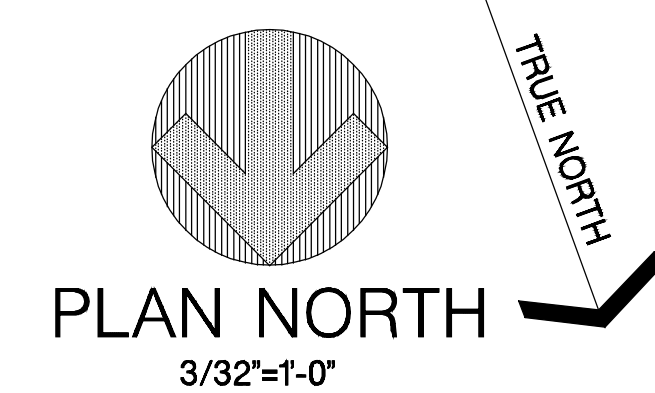
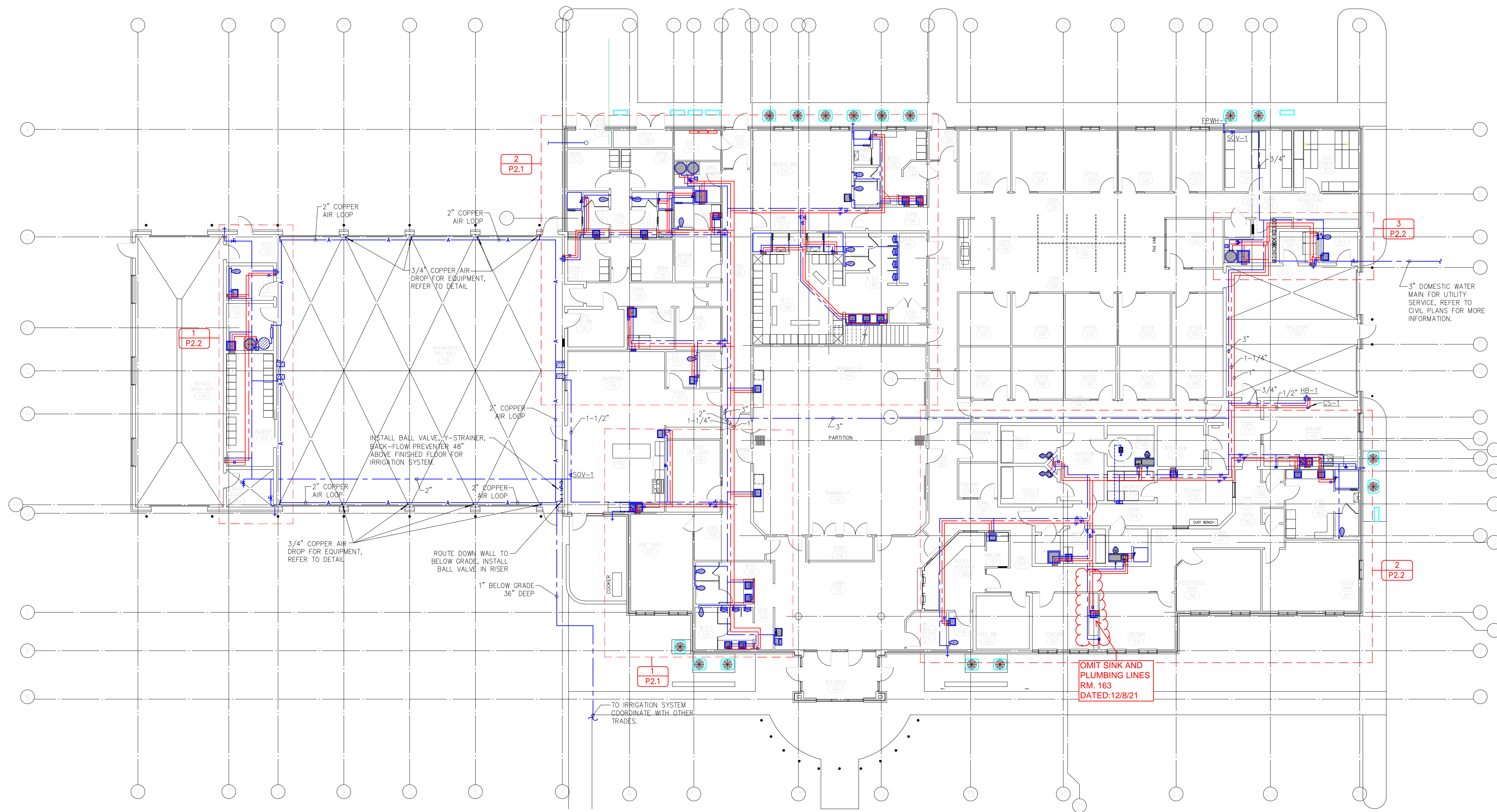
UPPER LEVEL PLAN
ADMIN & LIVING QUARTERS
HVAC

PROJECT NO.:
1904
DATE ISSUED:
December 1, 2020
DRAWN BY:
REVISIONS:

POLICE / FIRE EMERGENCY
SERVICES CENTER

PRYOR CREEK, OK

GRABER & ASSOCIATES, PC
2415 EAST SKELLY DRIVE - SUITE 101
TULSA, OKLAHOMA 74105-6076
918 - 747 - 8028 - FAX 1 - 866 - 927 - 0456



OMIT SINK AND PLUMBING LINES RM. 163 DATED:12/8/21

TO IRRIGATION SYSTEM COORDINATE WITH OTHER TRADES.

3" DOMESTIC WATER MAIN FOR UTILITY SERVICE, REFER TO CIVIL PLANS FOR MORE INFORMATION.

INSTALL BALL VALVE, Y-STRAINER, BACK-FLOW PREVENTER 48" ABOVE FINISHED FLOOR FOR IRRIGATION SYSTEM.

ROUTE DOWN WALL TO BELOW GRADE, INSTALL BALL VALVE IN RISER 1" BELOW GRADE-36" DEEP

3/4" COPPER AIR DROP FOR EQUIPMENT, REFER TO DETAIL

3/4" COPPER AIR DROP FOR EQUIPMENT, REFER TO DETAIL

2" COPPER AIR LOOP

2" COPPER AIR LOOP

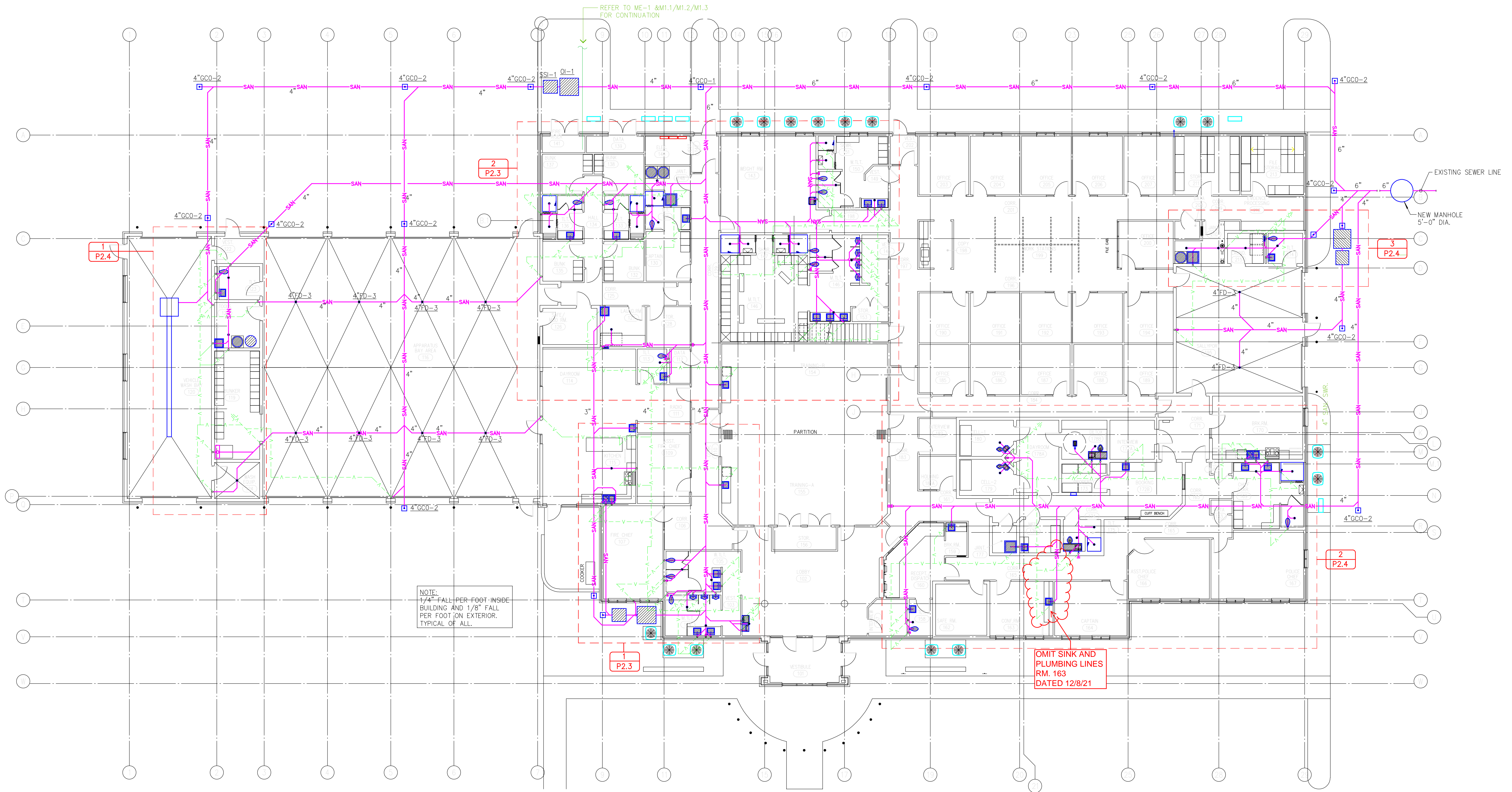
1 P2.2

2 P2.1

3 P2.2

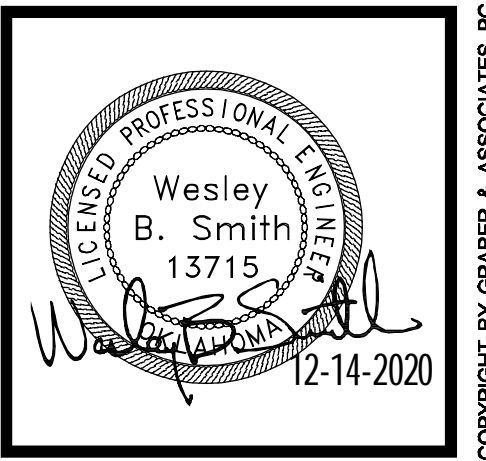
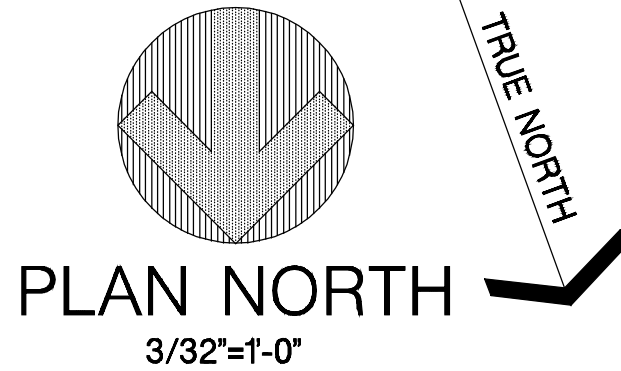
2 P2.2

P2.1



NOTE:
1/4" FALL PER FOOT INSIDE
BUILDING AND 1/8" FALL
PER FOOT ON EXTERIOR.
TYPICAL OF ALL.

OMIT SINK AND
PLUMBING LINES
RM. 163
DATED 12/8/21



12-14-2020

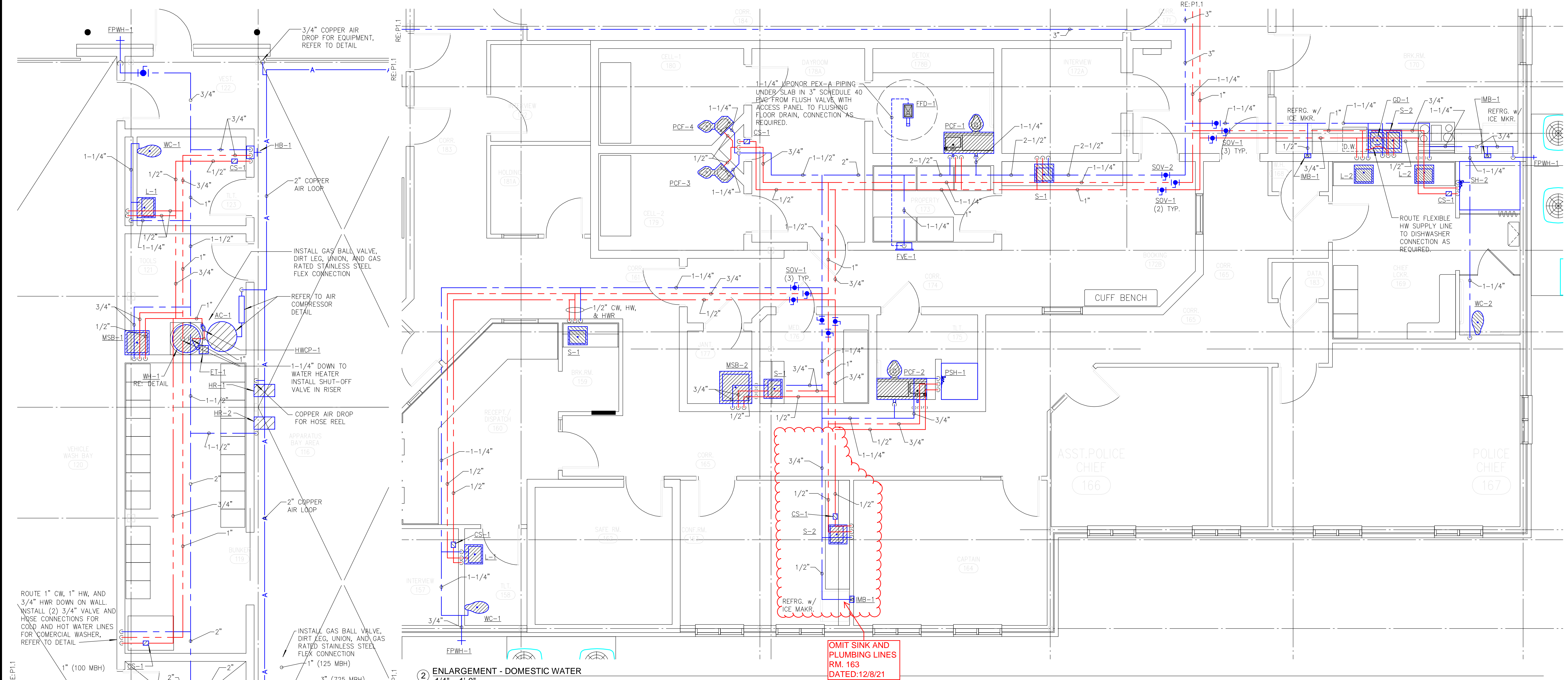
FLOOR PLAN -
WASTE & VENT

P1.2
of

PROJECT NO.:
1904
DATE ISSUED:
December 1, 2020
DRAWN BY:
REVISIONS:
12/8/21

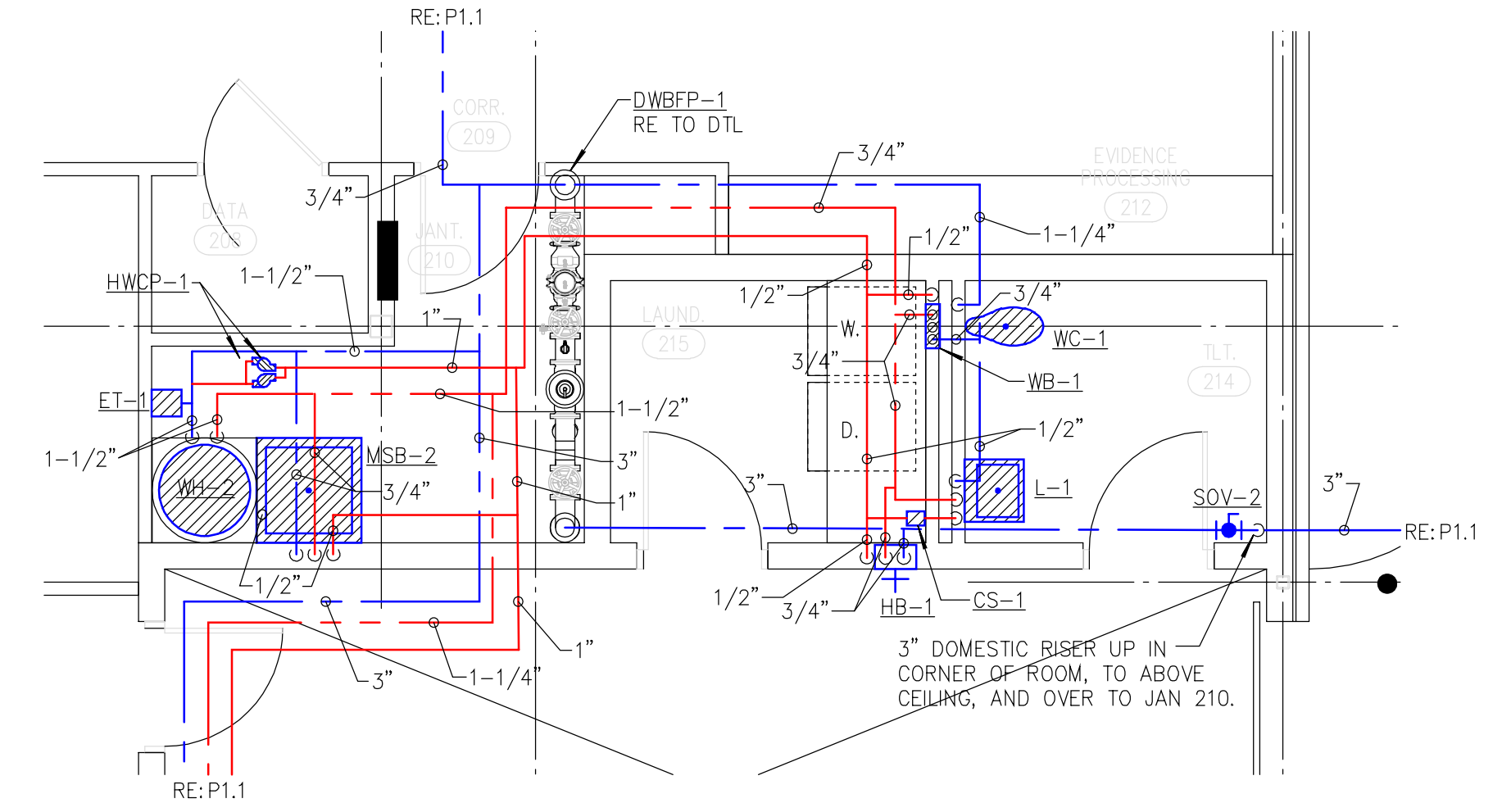
POLICE / FIRE EMERGENCY
SERVICES CENTER
PRYOR CREEK, OK

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918 - 747 - 8028 - FAX 1-866-927-0456

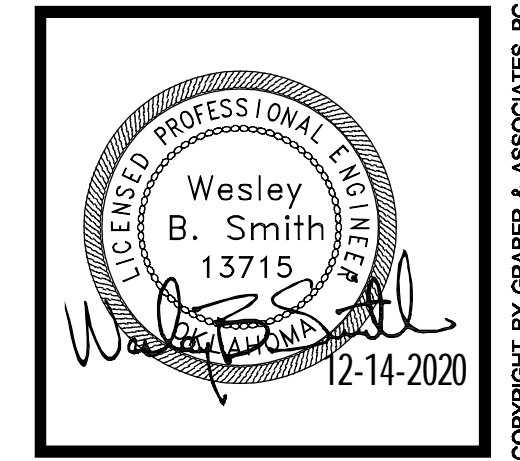
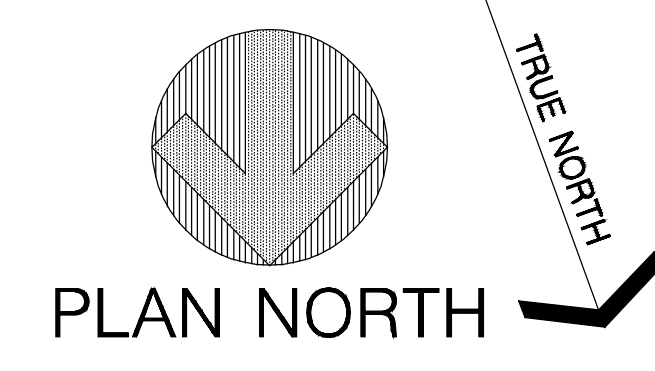


① ENLARGEMENT - DOMESTIC WATER
 1/4" = 1'-0"

② ENLARGEMENT - DOMESTIC WATER
 1/4" = 1'-0"



③ ENLARGEMENT - DOMESTIC WATER
 1/4" = 1'-0"



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Proposal Request #07 : Misc. Library/Museum Changes

Project Name: Police and Fire Emergency Services Center
and City Library Additions for the City of
Pryor Creek
505 East Graham Avenue
Pryor Creek, OK 74361

Architect: Graber and Associates
2415 East Skelly Drive, Suite 101
Tulsa, OK 74105-6076
918-747-8028

Construction Manager: CMSWillowbrook
1637 S. Boston Ave
Tulsa, OK 74119
918-252-0585

Issue Date: December 13, 2021

Summary of Changes (includes but is not limited to):

L2.2

- Added cabinets at Break Room 122.
- Added electrical range at Break Room 122.

L10

- Add subway tile in room 122 behind sink.
- Add subway tile in room 122 behind range.
- Add exhaust hood with fire suppression.
- Revised cabinet elevations.

LE1.1

- Added floor boxes in rooms 112A, 112B, Work 106.
- Change outlets in Storage Room 110 from duplex to quad. Mount outlets above countertop.
- Add two quad outlets to Data 125B.
- Provide power to hood and range in Break Room 122.

LE2.1

- Delete three light bollards at Museum Addition.
- Delete and add six light fixtures in Meeting rooms 112A and 112B. Added fixture type to be determined.
- Add circuiting details for light fixtures.
- Relocate light fixture in Break Room 122

LM.E1

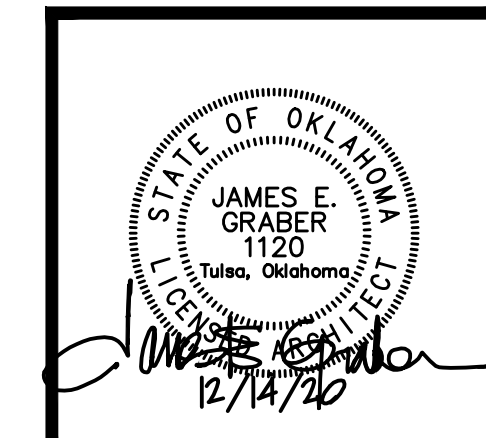
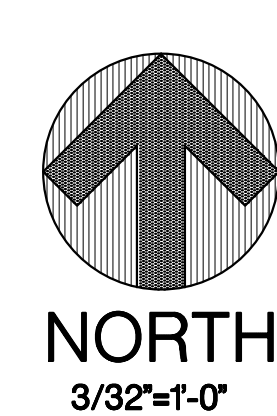
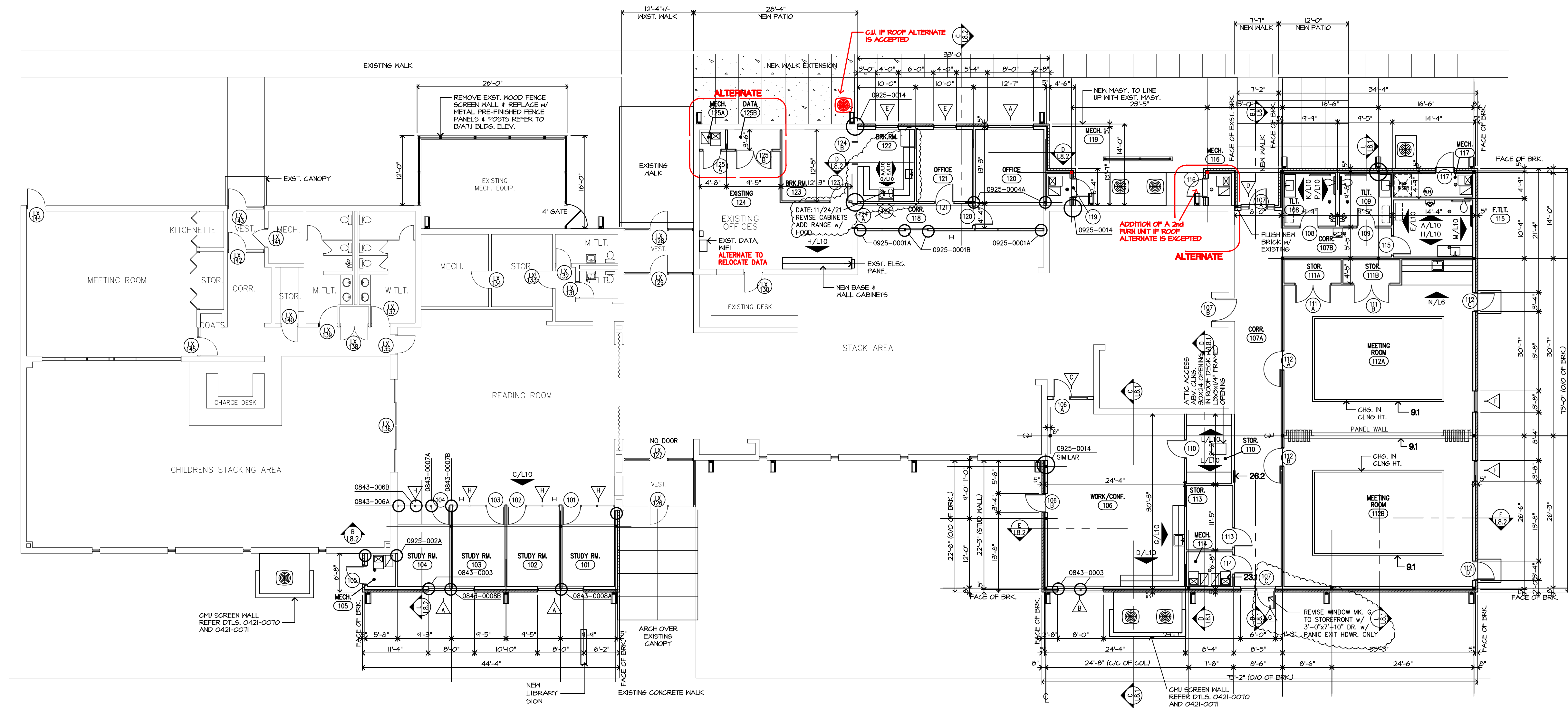
- Added circuiting information to light fixtures.

LM.M1

- Added gas shutoff and union in ceiling.

Unnamed Sheet

- Card reader locations clarified and changed. Remove credential reader from doors 112C and 112D. Add credential reader too existing doors LX126, LX143, LX128.



ARCHITECTURAL KEYNOTES:

- 3.1 CONCRETE DRILLED PIER
- 3.2 CONCRETE GRADE BEAM
- 3.3 CONCRETE THICKENED SLAB
- 3.4 CONCRETE FLOOR SLAB
- 3.5 GRANULAR CUSHION FILL
- 3.6 PRE-CAST CONCRETE SPLASH BLOCK
- 3.7 4" CONC. PAD AT COND. UNIT, SIZE AS REQ'D FOR UNIT
- 3.8 4" CARTON VOID FORM, TYPICAL @ GRADE BEAMS
- 4.1 FACE BRICK w/ WALL TIES
- 4.2 MASONRY LINTEL, RE: PLANS & SCHEDULES
- 4.3 THRU WALL FLASHING
- 4.4 WEEP HOLES AT 48" O.C.
- 5.1 STEEL ANGLE LINTEL
- 5.2 ROOF DECK: 1 1/2" METAL
- 5.3 COLD FORMED STEEL ROOF JOISTS
- 5.4 STEEL COLUMN w/ STL BASE PLATE
- 5.5 STEEL BEAM
- 5.6 STEEL ROOF JOIST
- 6.1 BASE CABINET, PLASTIC LAMINATE FINISH
- 6.2 WALL CABINET, PLASTIC LAMINATE FINISH
- 6.3 SOLID SURFACING, COUNTER TOP & SPLASH
- 6.4 VANITY COUNTER TOP, SPLASH & APRON, SOLID SURFACING
- 6.5 2x CONT. WOOD BLOCKING, PRESSURE TREATED
- 6.6 PLASTIC LAMINATE COUNTER TOP, SPLASH
- 7.1 MEMBRANE ROOFING, REFER SPEC'S
- 7.2 RETROFIT METAL ROOF SYSTEM, REF. SPEC'S
- 7.3 SOFFIT PANELS, METAL
- 7.4 TAPERED ISO INSUL. BD., 2" STARTER LAYER
- 7.5 1/4" DENSGLASS BD. OVER ISO INSUL.
- 7.6 BATT INSULATION, 9" R-30
- 7.7 BATT INSULATION, 6" R-19
- 7.8 METAL GUTTERING SYSTEM, PREFINISHED
- 7.9 METAL DOWNSPOUT, PREFINISHED, WITH PRECAST CONCRETE SPLASH BLOCK
- 7.10 FLASHING, SHEET METAL, PREFINISHED
- 7.11 FASCOA, SHEET METAL, PREFINISHED
- 7.12 5/8" EXT. DENSGLASS SHEATHING
- 7.13 FOUNDATION PERIMETER INSULATION
- 7.14 SNOW GUARDS, TYP. AT ROOF EDGE
- 7.15 BUILDING WRAP
- 8.1 DOOR & FRAME, RE: PLANS & SCHEDULES
- 8.2 WINDOW, ALUMINUM, RE: PLANS & SCHED.'S
- 9.1 LINE OF CHANGE IN CEILING HEIGHT
- 9.2 5/8" F.C. GYPSUM BOARD, PAINTED
- 9.3 SUSPENDED ACOUSTICAL CEILING
- 9.4 METAL STUD FRAMING AT MIN. 16" O.C.
- 9.5 4" RUBBER BASE
- 9.6 FURRING CHANNELS AT MIN. 16" O.C.
- 9.7 CERAMIC TILE
- 10.1 FIRE EXTINGUISHER & CABINET
- 10.2 GRAB BAR
- 10.3 MIRROR
- 10.4 CHANGING STATION
- 10.5 MIRROR, 18"x24", TILT
- 22.1 WATERCLOSET
- 22.2 URINAL
- 22.3 LAVATORY, UNDER MOUNT
- 22.4 SINK, UNDER MOUNT
- 22.5 SERVICE SINK
- 22.6 SINK, WALL MOUNTED
- 22.7 FLOOR DRAIN
- 22.8 ELECTRIC WATER COOLER
- 22.9 WATER HEATER
- 22.10 FREEZEPROOF HOSE BIBB
- 23.1 FURNACE UNIT (FURN)
- 23.2 CONDENSING UNIT
- 23.3 CEILING DIFFUSER
- 23.4 SIDEWALL DIFFUSER
- 23.5 RETURN AIR GRILLE
- 23.6 EXHAUST FAN GRILLE
- 23.7 SUPPLY AIR DUCT
- 23.8 RETURN AIR DUCT
- 26.1 MAIN DISTRIBUTION PANEL
- 26.2 ELECTRICAL PANEL
- 26.3 LIGHT FIXTURE, CEILING MOUNTED (VERIFY HEIGHT w/ ARCHITECT)
- 26.4 LIGHT FIXTURE, WALL MOUNTED (VERIFY HEIGHT w/ ARCHITECT)
- 26.5 DISCONNECT
- 32.1 LINE OF FINISH GRADE
- 32.2 CONC. SIDEWALK, RE: SPEC.'S
- 32.3 6" HIGH VINYL FENCE, ALTERNATE

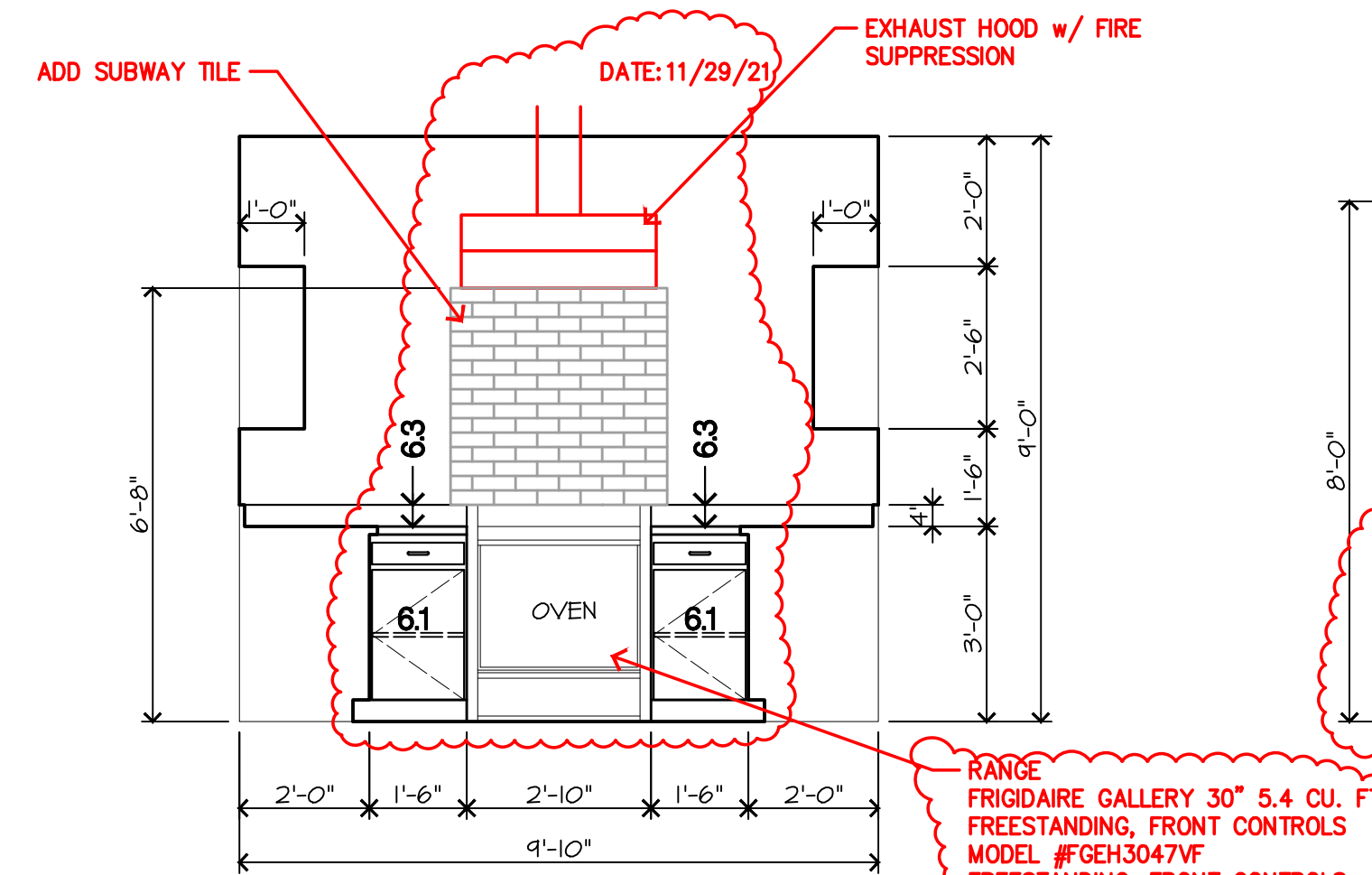
GRABER & ASSOCIATES, PC
 2415 EAST SKELLY DRIVE - SUITE 101
 TULSA, OKLAHOMA 74105-6076
 918 - 747 - 8028 - FAX 1-866-927-0456

CITY LIBRARY ADDITIONS
 for the CITY of PRYOR CREEK
 505 East Grahame Avenue
 PRYOR CREEK, OK

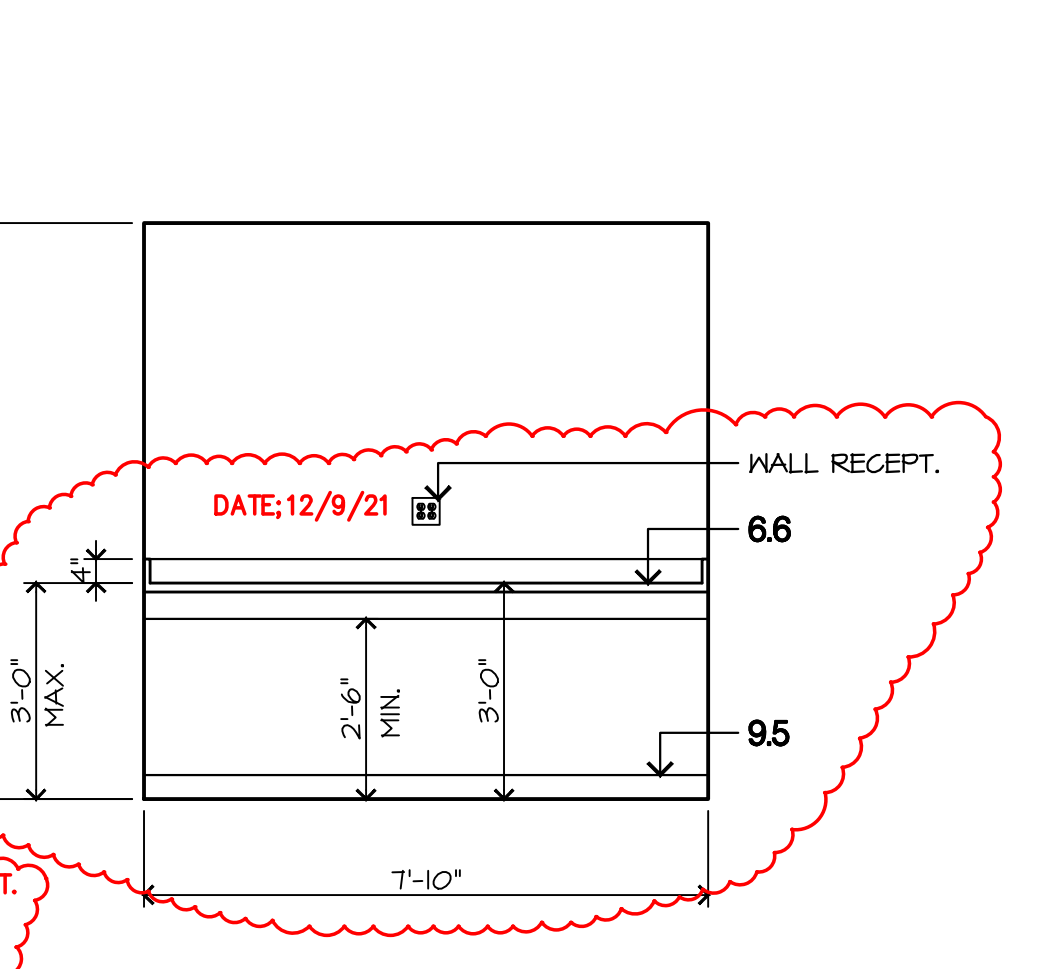
PROJECT NO.: 1905
 DATE ISSUED: December 14, 2020
 DRAWN BY:
 REVISIONS:
 11/29/21
 12/02/21
 12/09/21

INTERIOR ELEVATIONS

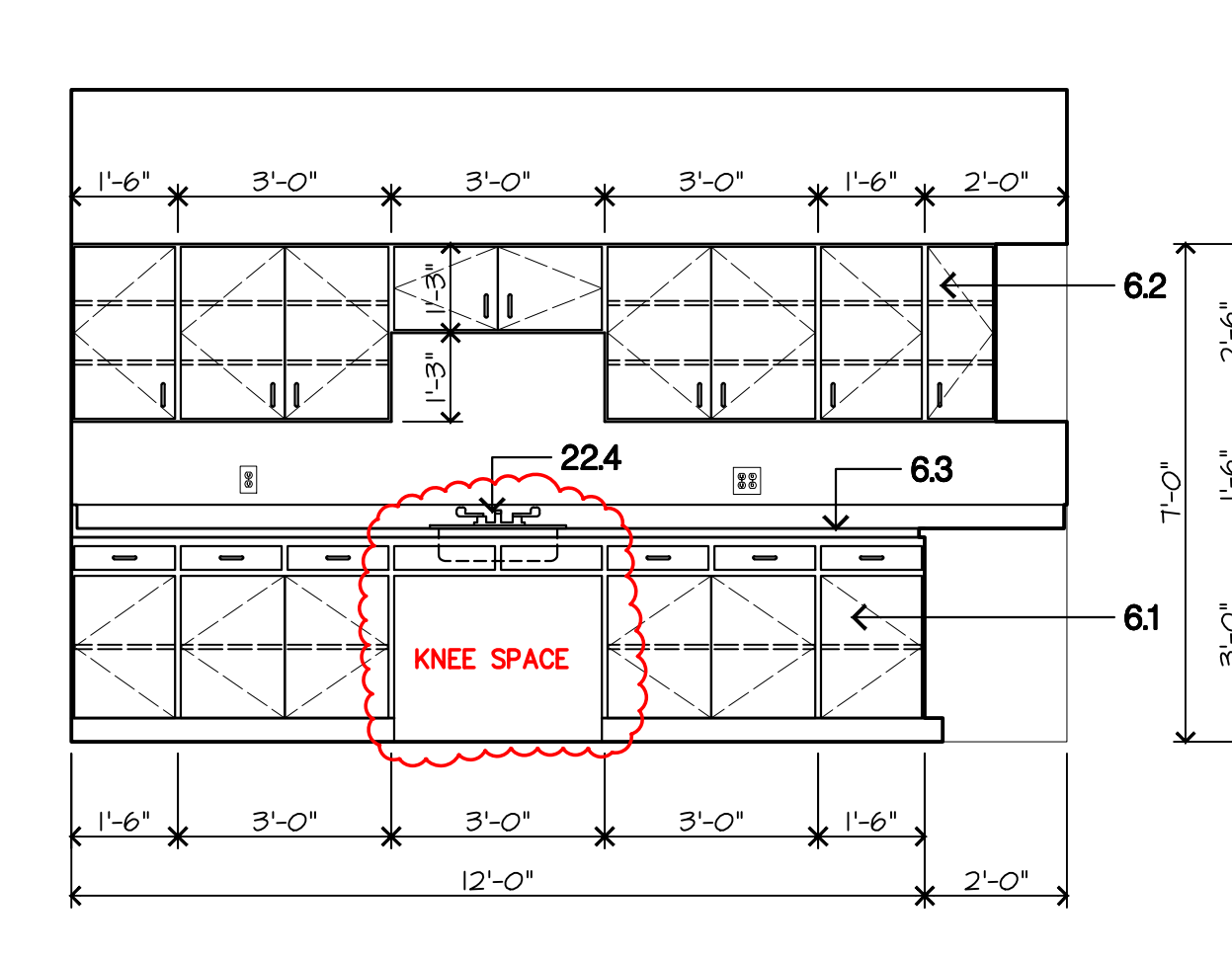
L10 of



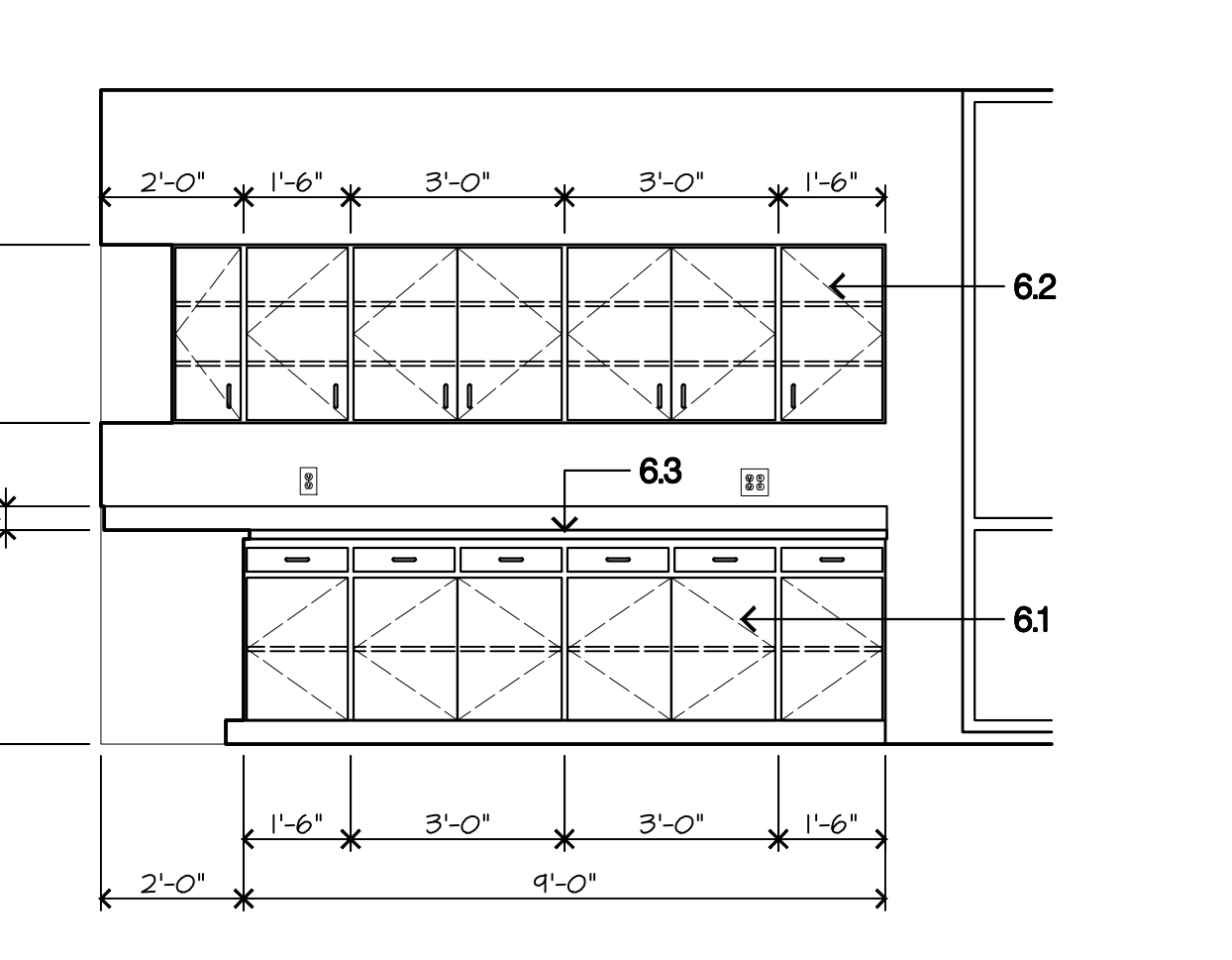
Q CABINET ELEVATION - RM. 122
 3/8"=1'-0"
 1905E08.dwg 11/28/21



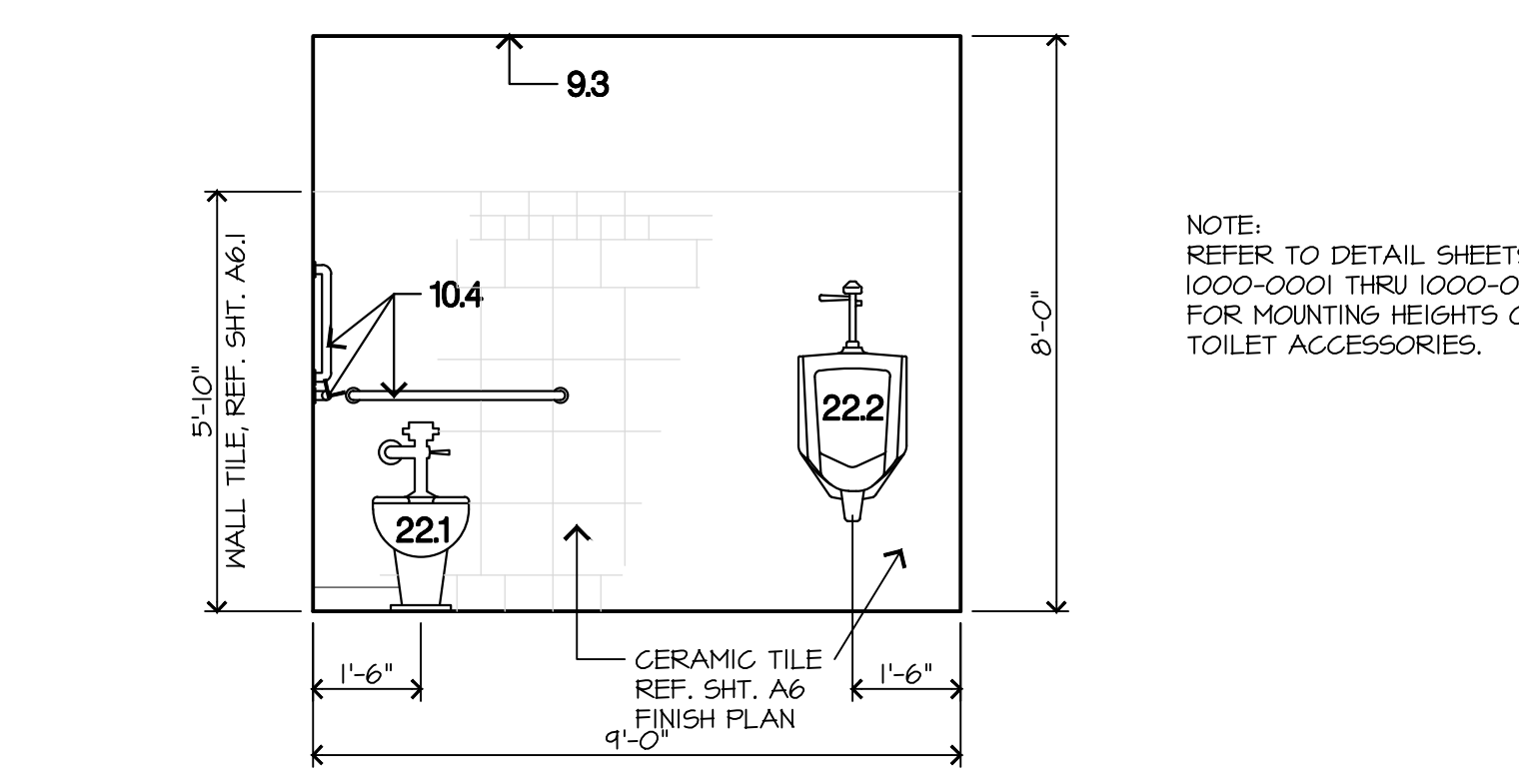
L COUNTER TOPS - RM. 110
 3/8"=1'-0"
 1905E06.dwg 12/07/20



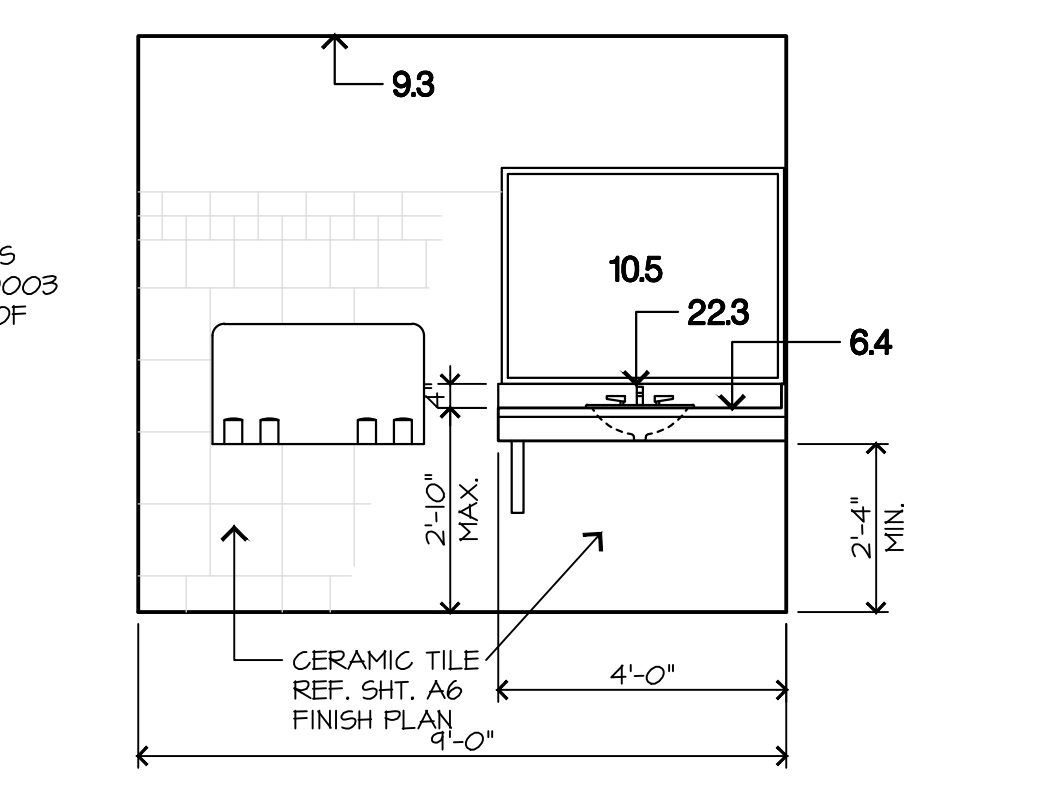
G CABINET ELEVATION - RM. 106
 3/8"=1'-0"
 1905E03.dwg 12/07/20



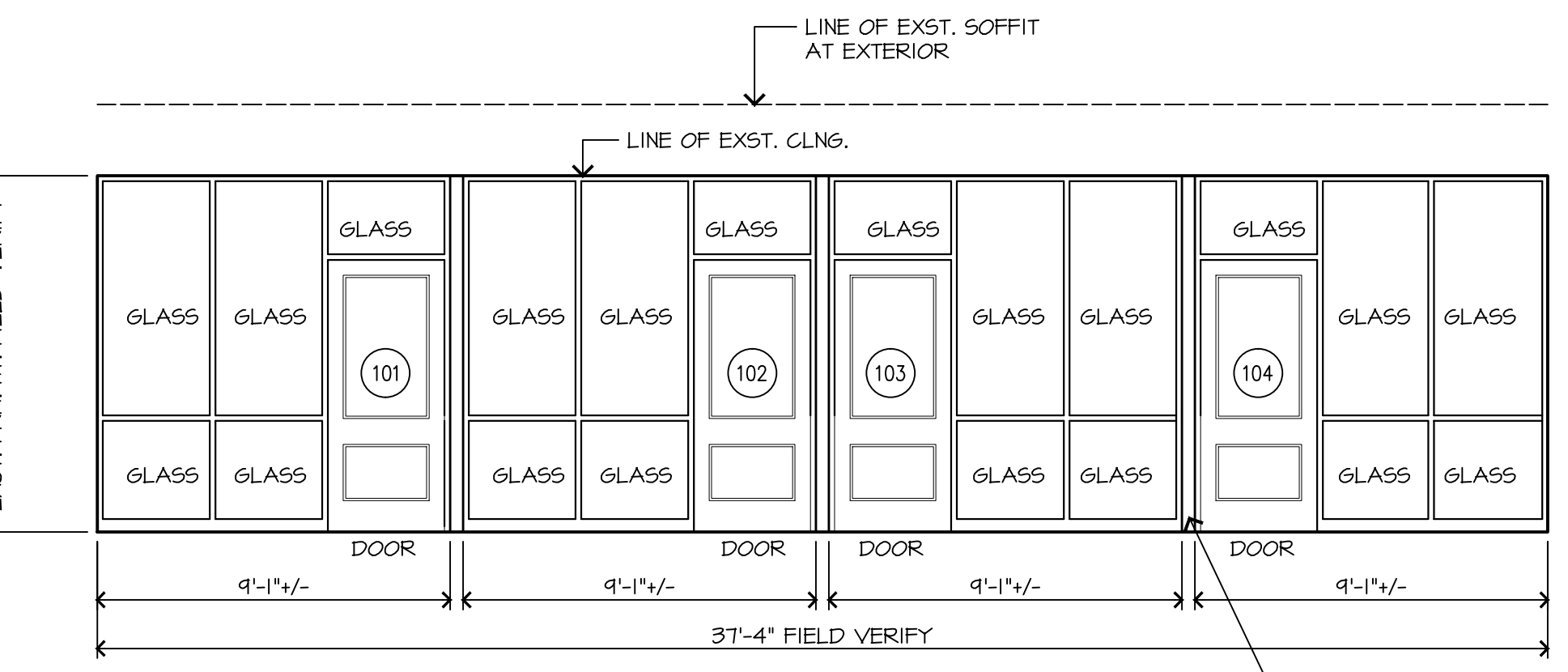
D CABINET ELEVATION - RM. 106
 3/8"=1'-0"



P TOILET ELEVATION RM. 108
 3/8"=1'-0"
 1905E02.dwg 12/07/20

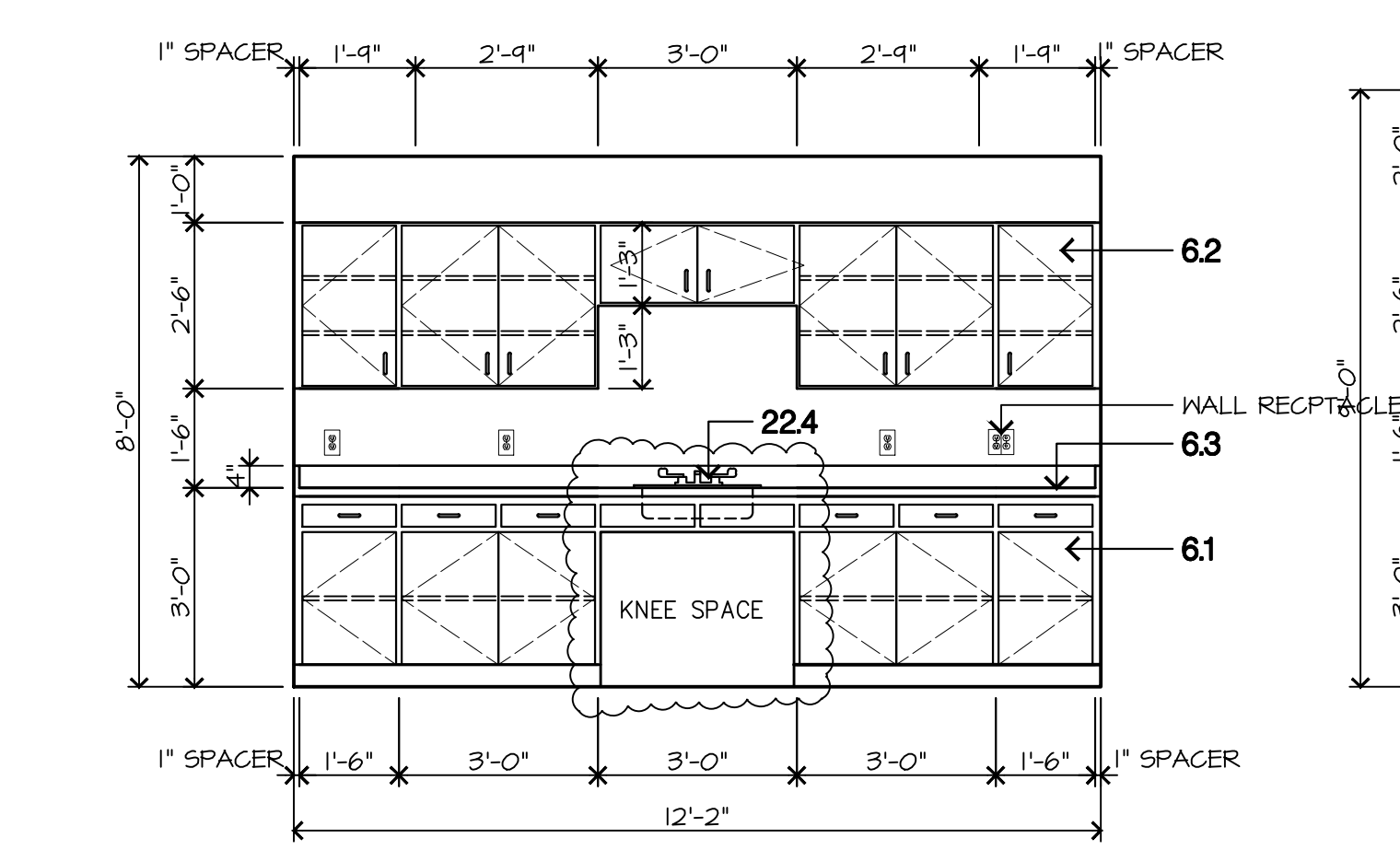


K TOILET ELEVATION RM. 108
 3/8"=1'-0"
 1905E04.dwg 12/07/20

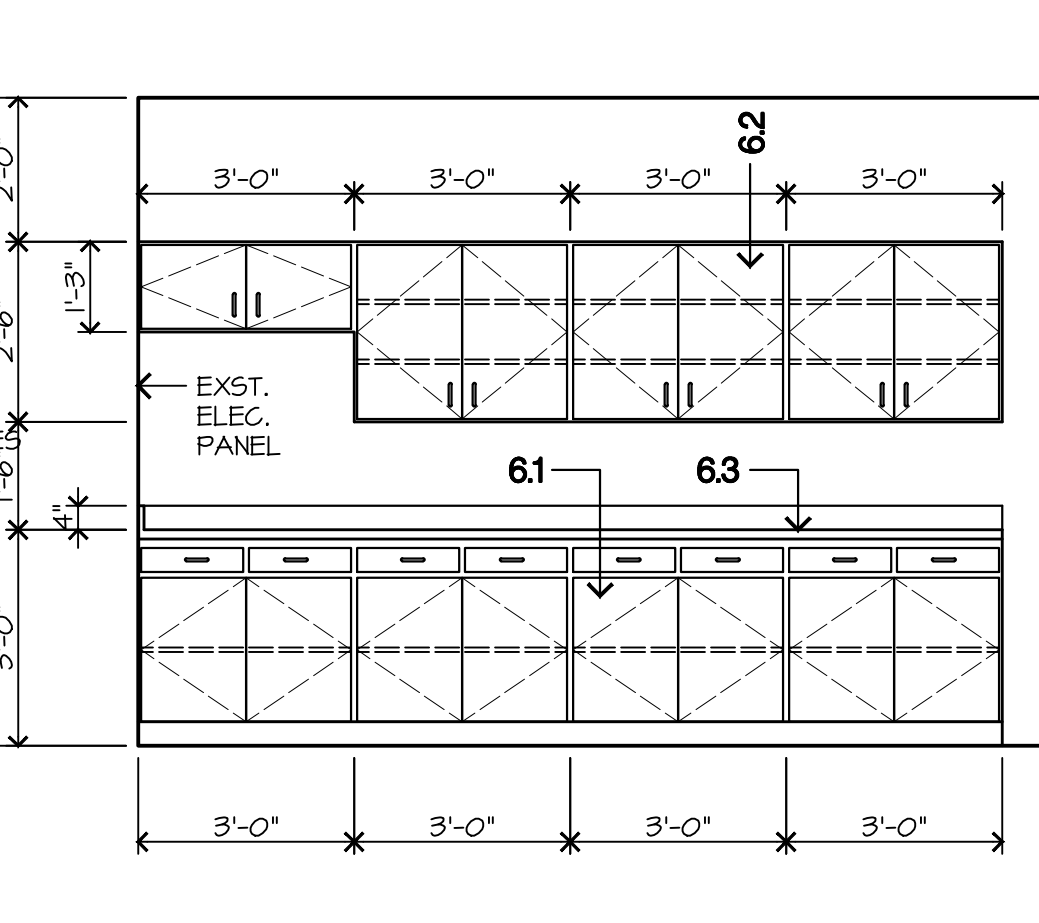


C WINDOW WALL ELEVATION
 1/4"=1'-0"
 1905E01.dwg 12/07/20

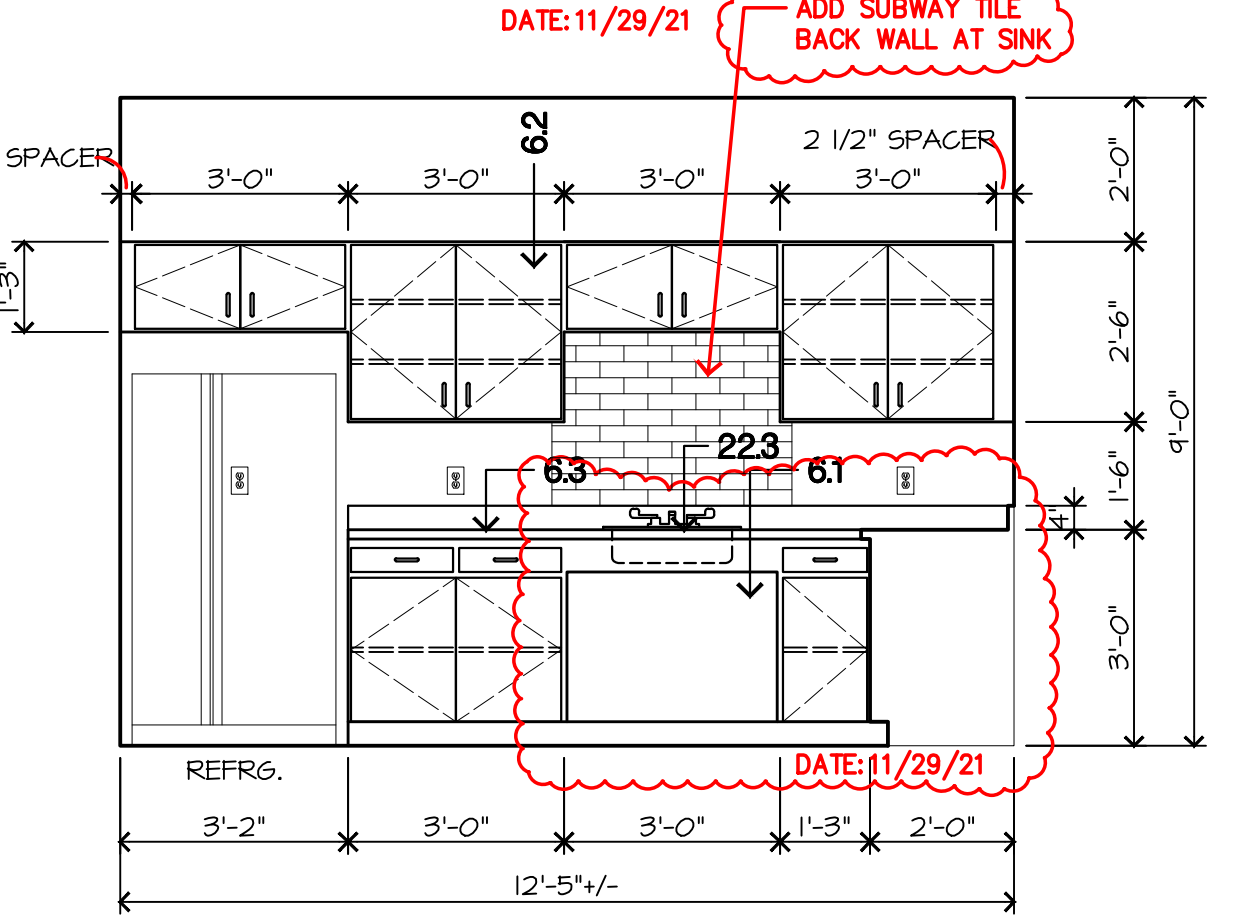
- NOTE:
 1. CONTRACTORS SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING ITEMS DURING CONSTRUCTION.
 2. FIELD VERIFY SIZE OF EXISTING OPENING.



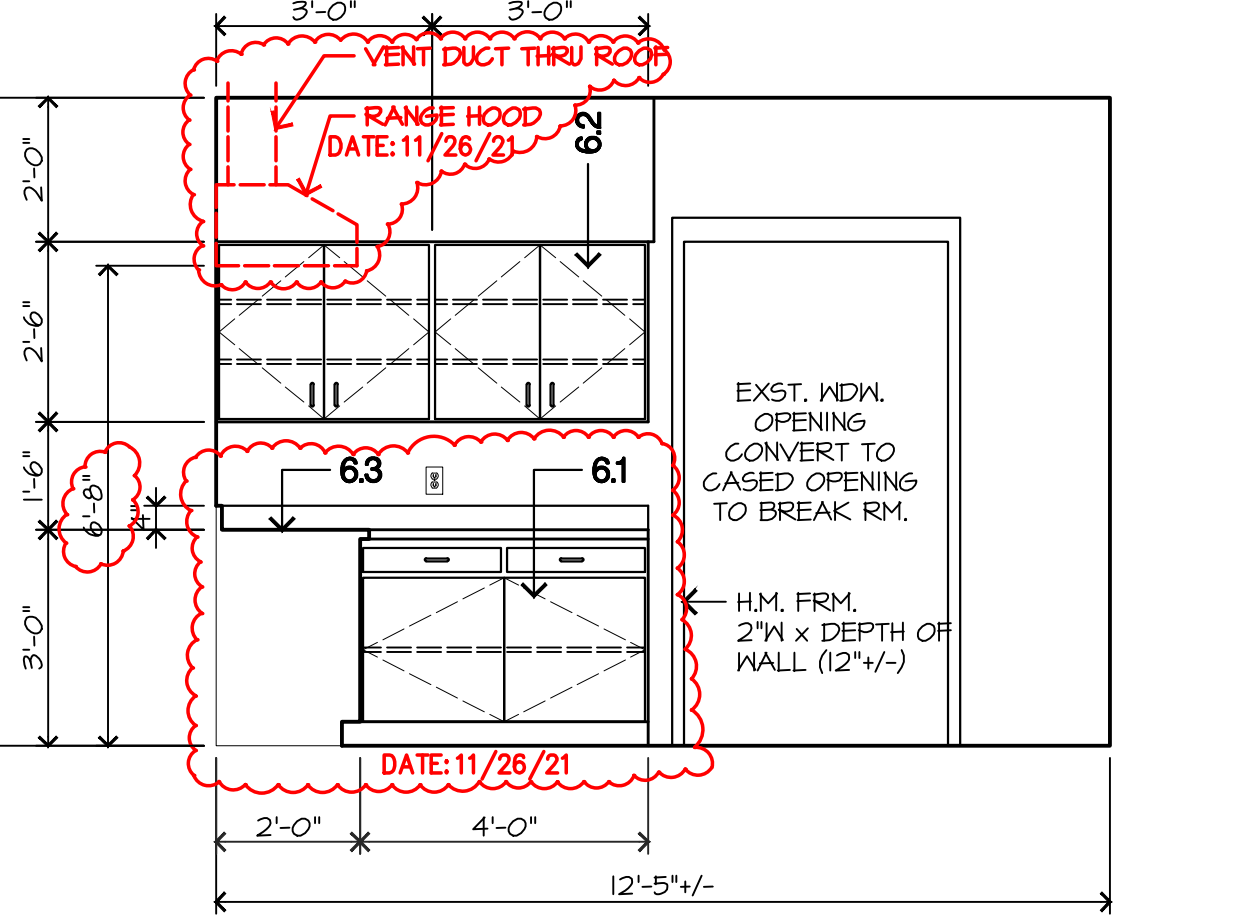
N CABINET ELEVATION - RM. 112A
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 1905E04.dwg 08/18/19



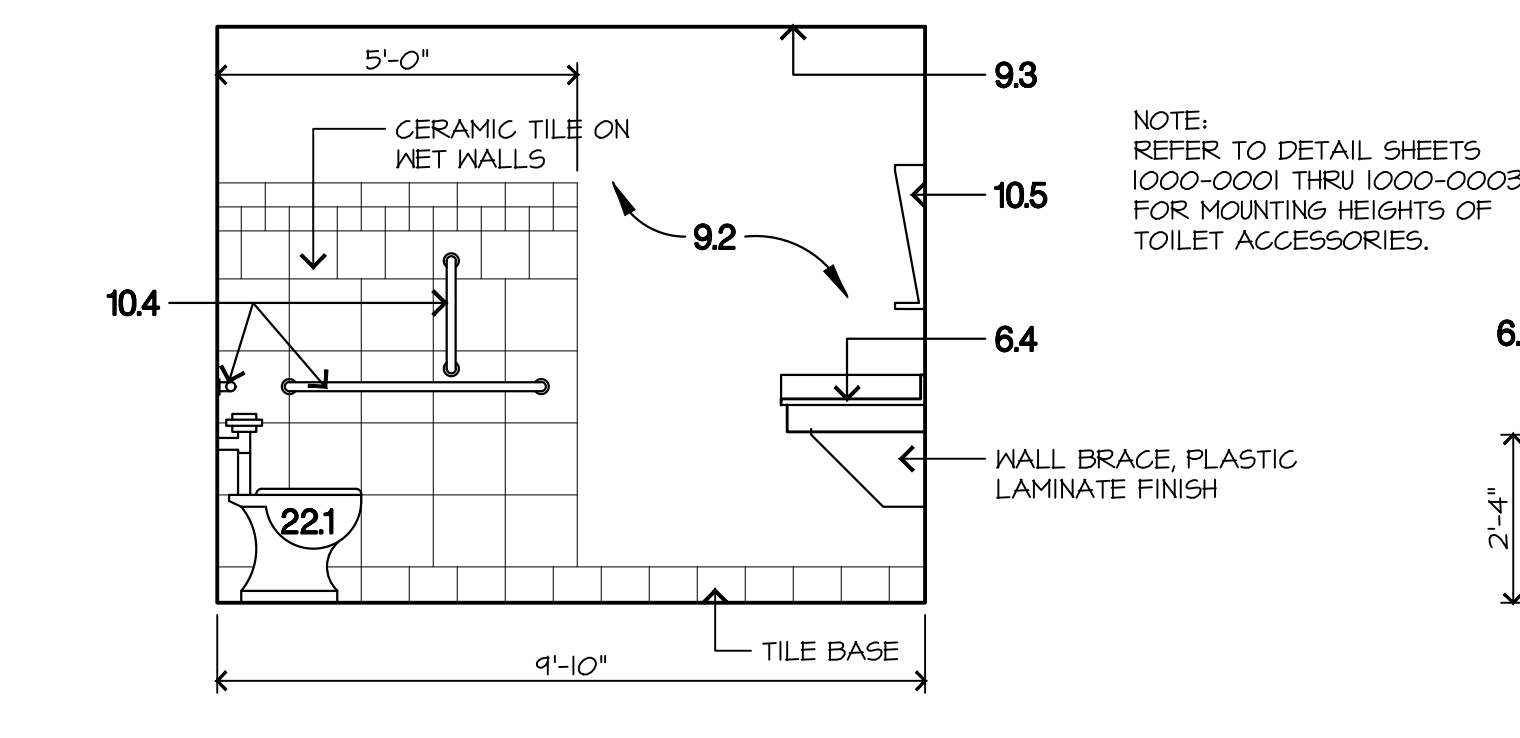
J CABINET ELEVATION - RM. 124
 3/8"=1'-0"
 1905E05.dwg 11/26/21



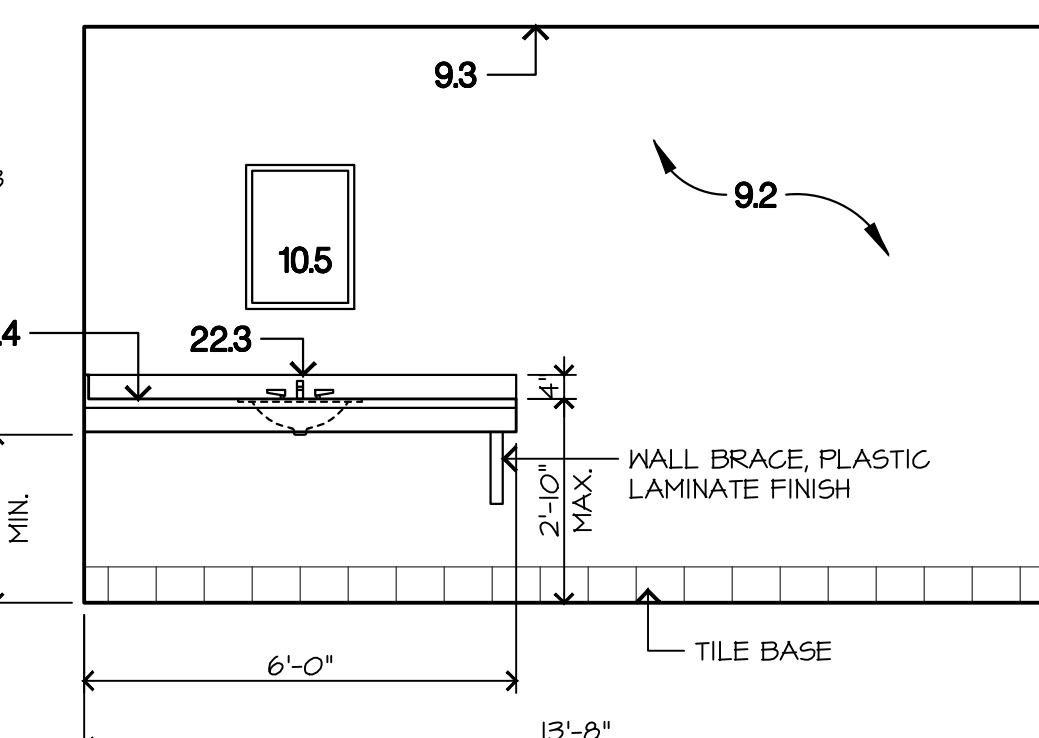
F CABINET ELEVATION - RM. 122
 3/8"=1'-0"



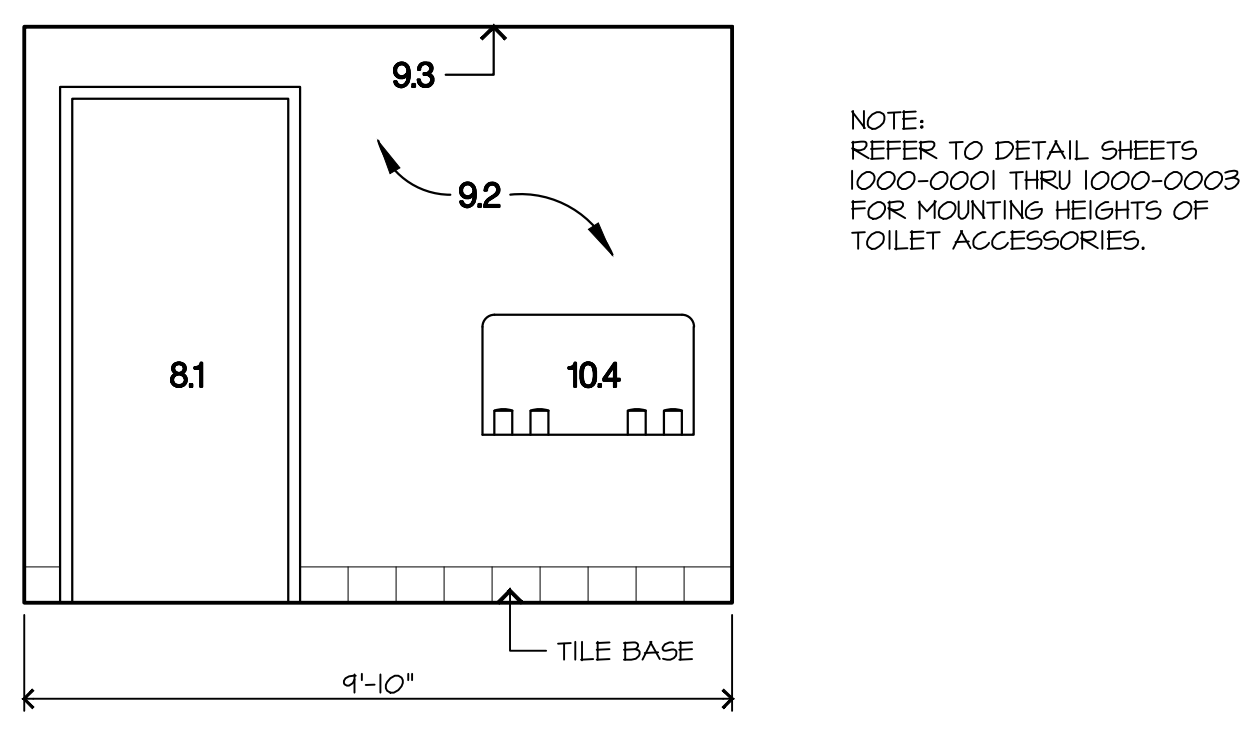
B CABINET ELEVATION - RM. 122
 3/8"=1'-0"



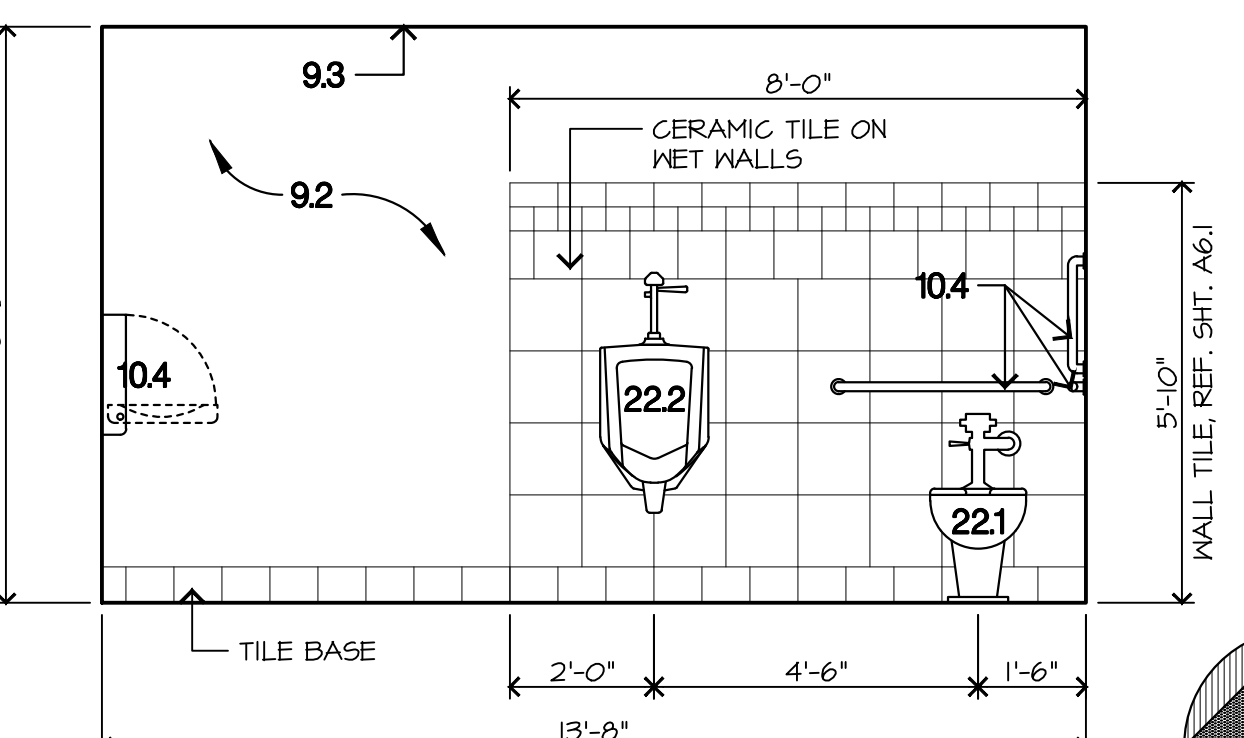
M TOILET ELEVATION RM. 115
 3/8"=1'-0"
 1905E07.dwg 10/23/20



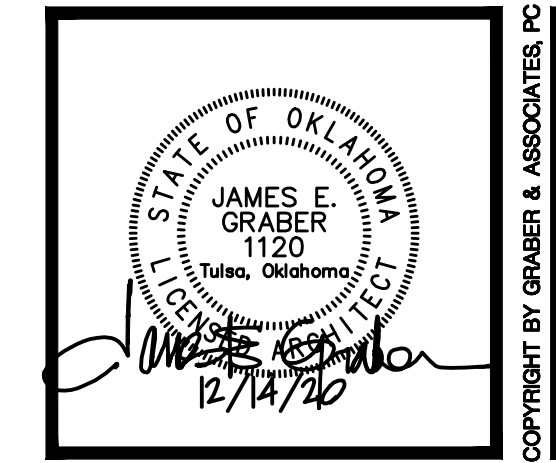
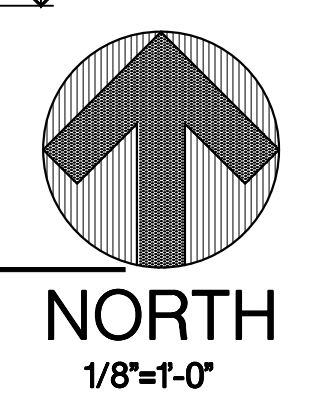
H TOILET ELEVATION RM. 115
 3/8"=1'-0"



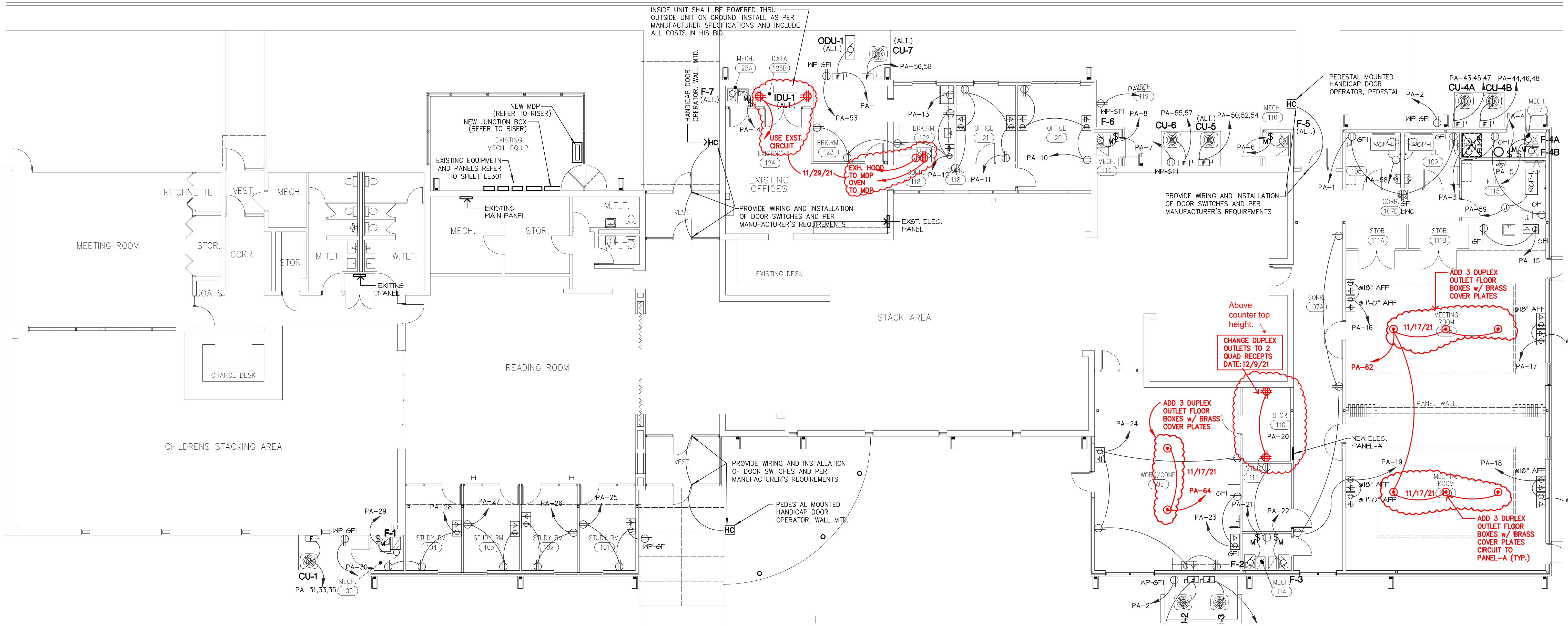
E TOILET ELEVATION RM. 115
 3/8"=1'-0"



A TOILET ELEVATION RM. 115
 3/8"=1'-0"

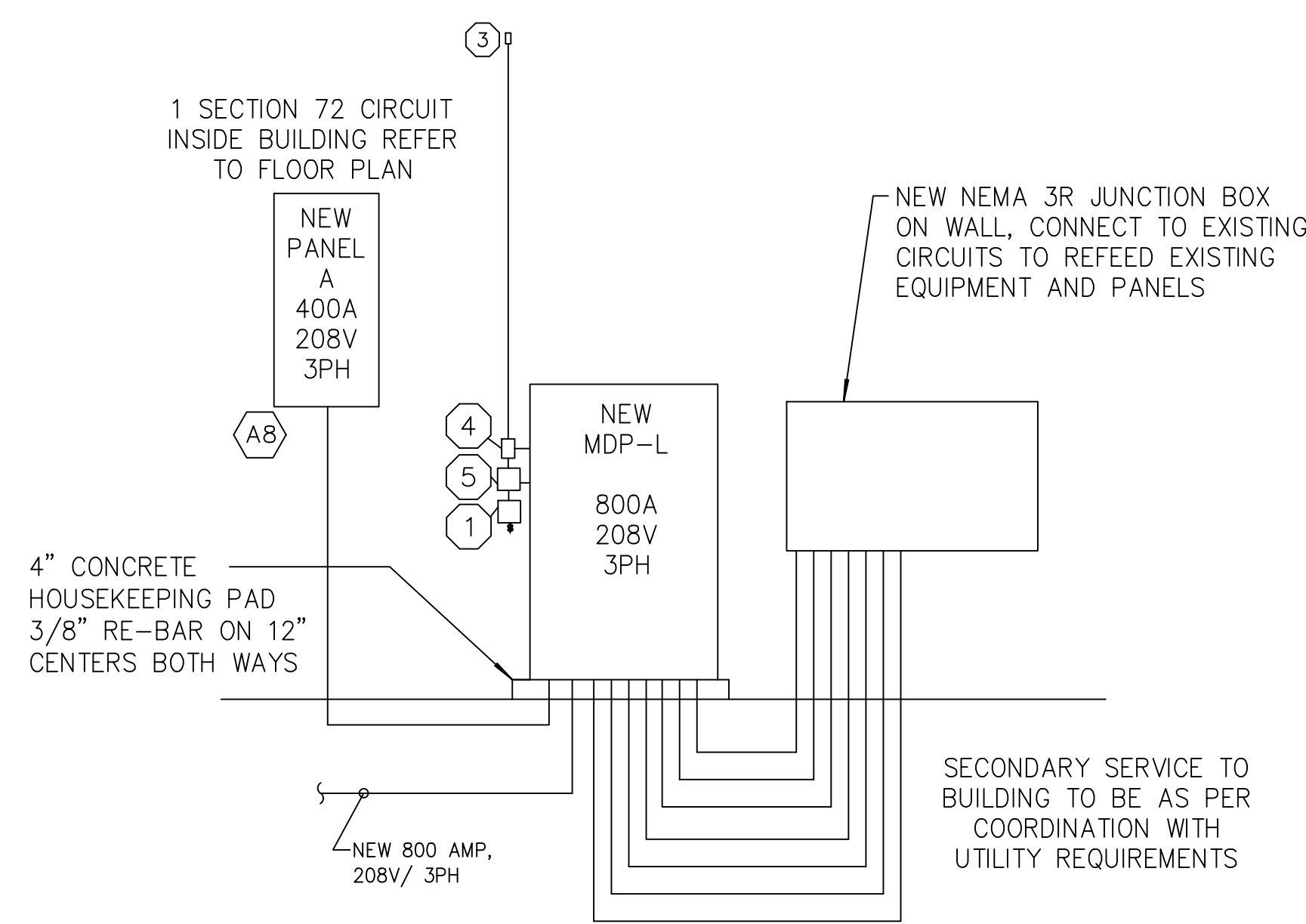


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EXISTING EQUIPMENT AND PANELS

NO SCALE



ONE LINE DIAGRAM

NO SCALE

WIRE SIZE AND CONDUIT SCHEDULE

AMPS	KEYS	WIRES	GROUND	CONDUIT
30	(A)	3-#10 THWN	#10 THWN	1/2"
50	(B)	3-#8 THWN	#10 THWN	3/4"
65	(C)	3-#6 THWN	#8 THWN	3/4"
85	(D)	3-#4 THWN	#8 THWN	1"
100	(E)	3-#3 THWN	#8 THWN	1-1/4"
115	(F)	3-#2 THWN	#6 THWN	1-1/4"
130	(G)	3-#1 THWN	#6 THWN	1-1/2"
150	(H)	3-#1/0 THWN	#6 THWN	1-1/2"
175	(I)	3-#2/0 THWN	#6 THWN	2"
200	(J)	3-#3/0 THWN	#6 THWN	2"
230	(K)	3-#4/0 THWN	#4 THWN	2"
255	(L)	3-250 MCM THWN	#4 THWN	2-1/2"
285	(M)	3-300 MCM THWN	#4 THWN	2-1/2"
310	(N)	3-350 MCM THWN	#3 THWN	3"
335	(O)	3-400 MCM THWN	#3 THWN	3"
380	(P)	3-500 MCM THWN	#3 THWN	3"
420	(Q)	3-750 MCM THWN	#2 THWN	4"
30	(R)	4-#10 THWN	#10 THWN	1/2"
50	(S)	4-#8 THWN	#10 THWN	3/4"
65	(T)	4-#6 THWN	#8 THWN	1"
85	(U)	4-#4 THWN	#8 THWN	1-1/4"
100	(V)	4-#3 THWN	#8 THWN	1-1/4"
115	(W)	4-#2 THWN	#6 THWN	1-1/4"
130	(X)	4-#1 THWN	#6 THWN	1-1/2"
150	(Y)	4-#1/0 THWN	#6 THWN	2"
175	(Z)	4-#2/0 THWN	#6 THWN	2"
200	(A1)	4-#3/0 THWN	#6 THWN	2"
230	(A2)	4-#4/0 THWN	#4 THWN	2-1/2"
255	(A3)	4-250 MCM THWN	#4 THWN	3"
285	(A4)	4-300 MCM THWN	#4 THWN	3"
310	(A5)	4-350 MCM THWN	#3 THWN	3"
335	(A6)	4-400 MCM THWN	#3 THWN	3"
380	(A7)	4-500 MCM THWN	#3 THWN	3-1/2"
420	(A8)	4-750 MCM THWN	#2 THWN	5"

ELECTRICAL KEY NOTES:

- BUILDING & SITE LIGHTING CONTACTOR. CONTACTOR SHALL BE A FACTORY ASSEMBLED CONTROL PACKAGE USING ASCO MODEL 918 WITH MIN (12) CONTACTS. PROVIDE OVERRIDE SWITCH. ALL CONTROL IS TO BE INCLUDED, WIRED AND INSTALLED BY ELECTRICAL CONTRACTOR.
- ALL GROUNDING IS TO BE DONE IN ACCORDANCE WITH NEC 2014 AS WELL AS LOCAL & UTILITY CODE. ATTACHMENT TO GROUND ROD AND BUILDING STEEL ARE TO BE MADE USING BURNDY HYGROUND SYSTEM. REFER TO GROUNDING SPECIFICATION.
- PHOTOCELL. TORK MODEL 2100.
- TIMCLOCK TORK MODEL EW2201. CONFIGURE FOR MECHANICAL CONTACTORS.
- BUILDING & SITE NIGHT LIGHTING CONTACTOR. CONTACTOR SHALL BE A FACTORY ASSEMBLED CONTROL PACKAGE USING ASCO MODEL 918 WITH MIN (8) CONTACTS. PROVIDE OVERRIDE SWITCH. ALL CONTROL IS TO BE INCLUDED, WIRED AND INSTALLED BY ELECTRICAL CONTRACTOR.

GENERAL NOTES:

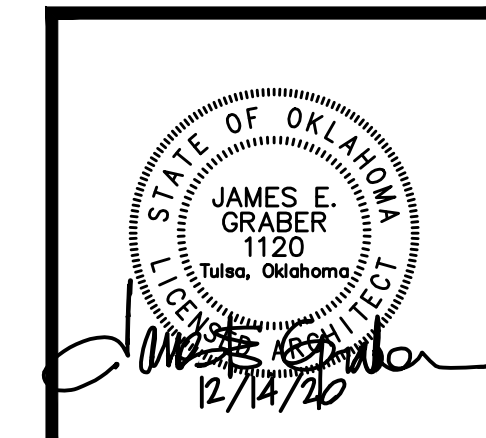
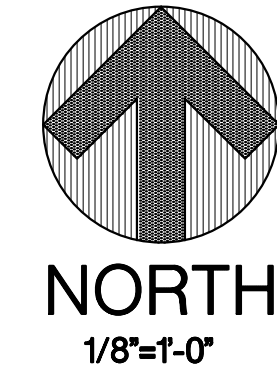
ALL BONDING CONNECTIONS TO BUILDING STEEL, AND GROUND RODS, ARE TO BE MADE USING BURNDY HYGROUND PROCESS. REFER TO SPECIFICATIONS.

CONTRACTOR WILL BE RESPONSIBLE FOR ALL COORDINATION WITH UTILITIES, (POWER, CATV & PHONE) FOR SERVICE CONDUIT TURN UP LOCATIONS, TRANSFORMER LOCATIONS AND CONCRETE PAD REQUIREMENTS, CONDUIT REQUIREMENTS, METERING, SERVICE CONDUCTORS, ETC.

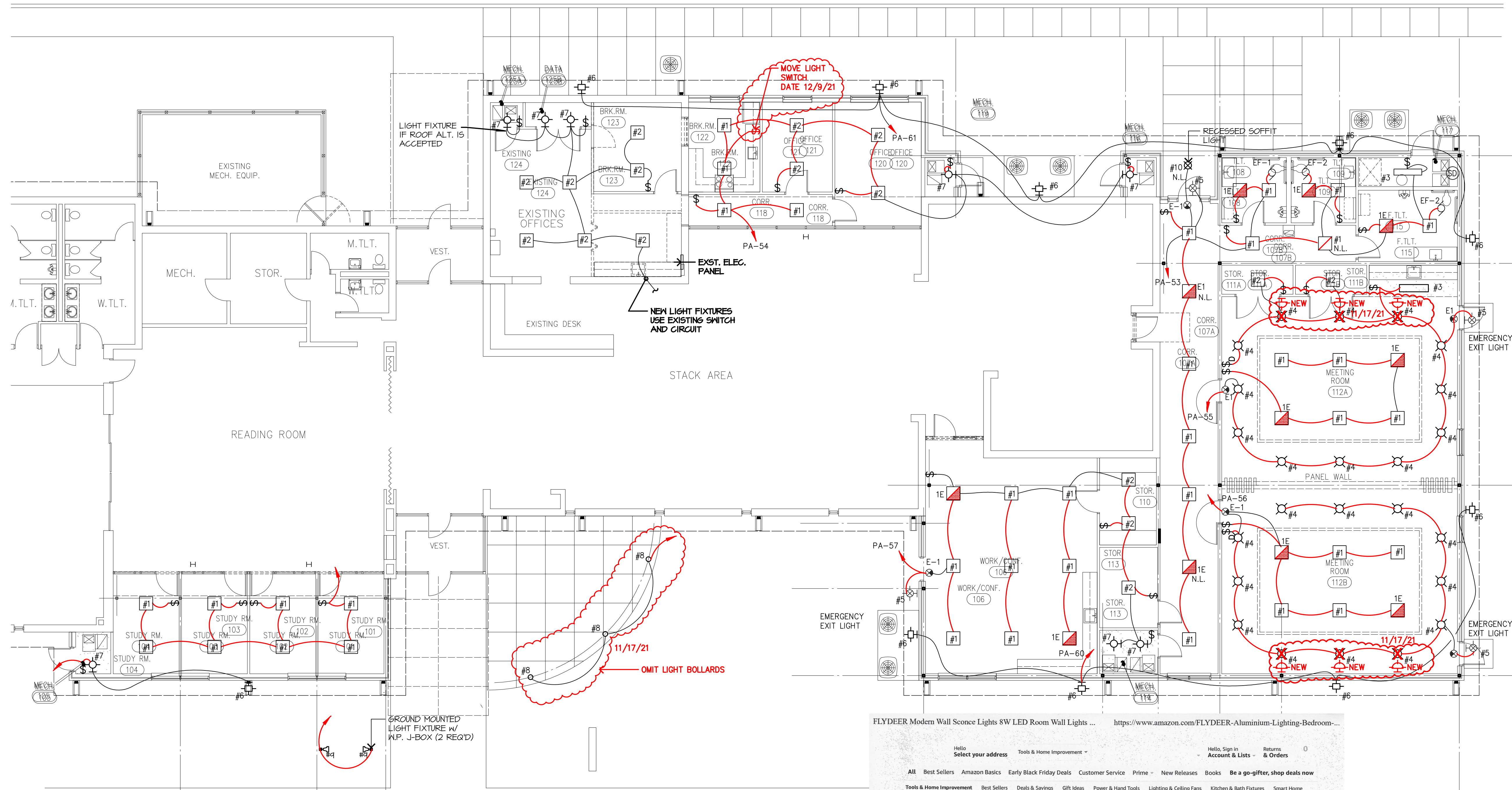
PROVIDE (1) OVERRIDE SWITCH TO BRING ON ALL BUILDING AND SITE LIGHTING THAT IS CONTROLLED BY PHOTOCELL/TIMCLOCK/CONTACTOR.

ALL FLOOR MOUNTED ELECTRICAL EQUIPMENT IS TO BE MOUNTED ON CONCRETE HOUSEKEEPING PADS. REFER TO SPECIFICATIONS.

ALL BUSSING IS TO BE COPPER, INCLUDING NEUTRAL AND GROUND BUSSING.



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FLYDEER Modern Wall Sconce Lights 8W LED Room Wall Lights ... <https://www.amazon.com/FLYDEER-Aluminium-Lighting-Bedroom-...>

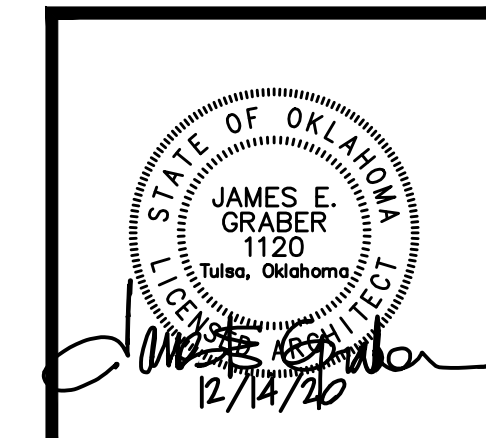
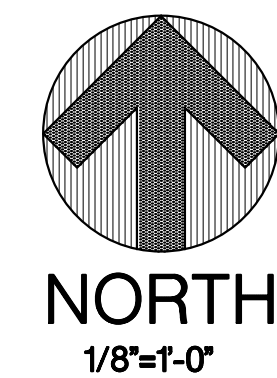
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	GGIENRUI Modern Wall Sconce Lights 8W LED Room Wall Lights Up Down Aluminium Wall	\$30.99	62
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	Lightest Modern Wall Sconce Dimmable 12W, Up Down Wall Lights Acrylic LED Wall Lamp for	\$30.99	245

NEW WALL SCONCE IN MEETING ROOM IN LIEU OF 6 #4 FIXTURES DUE TO CONFLICT WITH DUCTWORK.

FLYDEER Modern Wall Sconce Lights 8W LED Room Wall Lights Up Down Aluminium Wall Lighting Lamps for Living Room Bedroom Corridor (Black-White Light)

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CITY LIBRARY ADDITIONS
for the CITY OF PRYOR CREEK
505 East Graham Avenue PRYOR CREEK, OK

PROJECT NO.: 1905
DATE ISSUED: December 14, 2020
DRAWN BY:
REVISIONS:
11/17/21
11/29/21
12/9/21

LIGHTING PLAN

LE2.1
of

ELECTRICAL GENERAL NOTES:

- A. ALL EXPOSED SURFACES THAT ARE NOT "PRE FINISHED" TO BE "PAINTED" - ALL COLORS TO BE SELECTED BY THE ARCHITECT.
- B. MATERIALS, ITEMS OR EQUIPMENT SUBSTITUTED BY CONTRACTOR, WHETHER APPROVED BY ARCHITECT OR NOT, SHALL MEET ALL PERFORMANCE EQUAL TO SPECIFIED ITEMS, OR CONTRACTOR WILL REPLACE AT HIS OWN COST.
- C. LAYOUT AND SPACE REQUIREMENTS: SHALL BE CAREFULLY CHECKED BY EACH BIDDER. IN EVENT ANY PROPOSED OR ALTERNATE EQUIPMENT REQUIRES SPACE, SUPPORT OR LAYOUT CONDITIONS OTHER THAN THOSE SHOWN ON THE PLANS, BIDDERS SHALL ARRANGE FOR SUCH SPACE WITH THE ARCHITECT PRIOR TO TAKING OF BIDS. ALL CHANGES MADE NECESSARY BY FAILURE TO COMPLY WITH PROVISIONS OF THIS PARAGRAPH SHALL BE MADE BY THE CONTRACTOR AT NO COST TO THE OWNER.
- D. ALL CONTRACTORS SHALL CONSULT THE PLANS FOR ALL OTHER TRADES FOR SPACES ALLOCATED TO PIPING, CONDUITS, DUCTS, ETC. THE MECHANICAL AND ELECTRICAL PLANS ARE ESSENTIALLY DIAGRAMMATIC INDICATING APPROXIMATE LOCATIONS OF SYSTEM COMPONENTS AND THE ARCHITECTURAL PLANS AND DETAILS SHALL TAKE PRECEDENCE IN ALLOCATING SPACE REQUIREMENTS FOR THE VARIOUS PIPES, DUCTS, ELECTRIC CONDUIT, ETC. ALL TRADES MUST CONSULT WITH ONE ANOTHER TO THE END THAT THE AVAILABLE SPACE IS BEST UTILIZED BY ALL.
- E. MECHANICAL AND ELECTRICAL PLANS ARE DIAGRAMMATIC, BUT THEY SHALL BE FOLLOWED AS CLOSELY AS ACTUAL CONSTRUCTION OF THE BUILDING AND WORK OF OTHER TRADES WILL ALLOW. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO COORDINATE WITH THE GENERAL WORK IN ORDER THAT THEIR WORK WILL BE PROPERLY AND SYMMETRICALLY INSTALLED IN THE BUILDING. THE APPROVAL OF ARCHITECT SHALL BE OBTAINED BEFORE DEVIATIONS FROM THESE PLANS ARE MADE.
- F. THE GENERAL CONTRACTOR SHALL:
 1. PAINT EXPOSED PIPING AS SPECIFIED UNDER "PAINTING".
 2. PROVIDE FLASHING OR PITCH POCKETS WHERE DUCTS AND PIPES PASS THROUGH ROOF OR WALL. ALL COUNTERTOP FLASHING BY CONTRACTOR FOR EQUIPMENT. LEAD FLASHING FOR PLUMBING VENTS BY PLUMBING.
 3. BUILD INTO BUILDING ALL INSERTS, SLEEVES, AND PLASTER RINGS, FURNISHED AND SET IN PLACE BY MECHANICAL AND ELECTRICAL CONTRACTORS.
 4. PROVIDE ALL CHASES, SHAFTS, RECESSES, AND FURRING.
- G. ELECTRICAL CONTRACTOR SHALL:
 1. PROVIDE PROPERLY FUSED DISCONNECTING MEANS AND POWER WIRING FOR ALL MOTORS.
 2. PROVIDE ALL ITEMS OF MOTOR STARTING EQUIPMENT NOT SPECIFICALLY CALLED OUT IN MECHANICAL PLANS AND SPECIFICATIONS.
 3. SET AND WIRE ALL MOTOR STARTING EQUIPMENT, INCLUDING INTERLOCKS, PRESSURE SWITCHES, AND SPECIAL SWITCHES OF ANY KIND.
 4. FURNISH AND INSTALL ALL CONDUIT.
 5. ALL SOUND, FIRE, ETC. SUB-CONTRACTORS SHALL MAKE ALL CONNECTIONS ON SOUND, AND NON-POWER WIRING.
 6. PROVIDE AND INSTALL ALL WIRING, UNLESS NOTED OTHERWISE FOR COMPLETE WORKING MECHANICAL AND ELECTRICAL SYSTEMS.
- H. ALL CONTRACTORS SHALL FROM TIME TO TIME, PROVIDE SUCH INFORMATION AS TO DIMENSIONS, WEIGHTS, FORM, WIRING, DELIVERY, METHODS, RIGGING, ETC., AS MAY BE REQUIRED TO EXPEDITE WORK. EACH CONTRACTOR SHALL PROMPTLY REPORT TO GENERAL CONTRACTOR'S SUPERINTENDENT ANY WORK OF ANOTHER TRADE WHICH IS NOT SUITABLE FOR ACCEPTANCE OF HIS WORK. IN EVENT OF CONFLICT BETWEEN WORK OF VARIOUS TRADES, FOLLOWING ORDER OF PRIORITY SHALL, IN GENERAL, APPLY:
 1. HOUSE DRAIN AND HOUSE SEWER/PAR
 2. DUCTWORK
 3. PIPING
 4. ELECTRICAL CONDUIT
- J. THE CONTRACTOR SHALL FURNISH HINGED ACCESS PANELS TO THE GENERAL CONTRACTOR, WHO WILL INSTALL SAME, WHERE INDICATED, OR WHEREVER REQ'D FOR ACCESSIBILITY TO HAND-CONTROLLING VALVES, FIRE DAMPERS, ETC., WHEREVER THESE VALVES, FIRE DAMPERS, CONTROLLERS, ETC., MAY BE CONCEALED IN WALLS FURRED IN AREAS, ETC.
- K. FURNISH AND INSTALL SUBSTANTIAL FOUNDATIONS FOR EACH PIECE OF APPARATUS INSTALLED UNDER THIS CONTRACT. PROVIDE HOUSE KEEPING PADS FOR ALL FLOOR MOUNTED EQUIPMENT.
- L. ALL STEEL SUPPORTS TO BE MADE UP OF STEEL CHANNELS, ANGLES, AND PIPE STANDS, OF THE PROPER SIZE, AND CONNECTED BY WELDING.
- M. WORK UNDER THIS CONTRACT COMPRISES THE FURNISHING OF ALL LABOR AND MATERIALS REQUIRED AND NECESSARY FOR COMPLETE INSTALLATION OF ELECTRICAL WIRING IN CONDUIT FOR LIGHTING AND POWER CIRCUITS, FROM THE MAIN SERVICE TO EACH ULTIMATE OUTLET, APPLIANCE AND/OR ELECTRICAL LOAD AS HEREINAFTER SPECIFIED AND/OR SHOWN ON THE ACCOMPANYING DRAWINGS.
- N. WORK INCLUDES THE EXTENSION OF PRIMARY SERVICE TO A NEW TRANSFORMER INCLUDING UNDER GROUND PRIMARY SERVICE INCLUDING DITCHING AND CONDUIT, TRANSFORMER AND TRANSFORMER PAD, MAIN SWITCH AND PAD AND SERVICE TO THE BUILDING.
- P. WORK INCLUDES INSTALLATION OF POWER WIRING FOR ALL MOTORS AND MISCELLANEOUS ELECTRICAL EQUIPMENT FURNISHED AND SET IN PLACE BY OTHER CONTRACTORS AS INDICATED ON ELECTRICAL DRAWINGS.
- Q. LIGHTING FIXTURES FURNISHED AND INSTALLED, COMPLETE WITH LAMPS AND LENS.
- R. SERVICE ENTRANCE AND METERING, AS DIAGRAMMED ON PLANS, WITH SECONDARY SWITCH-GEAR, FEEDERS, LIGHTING PANELS, SWITCHES, ETC.
- S. CONDUIT AND WIRING FOR ALL MOTOR CONTROLS AND TO TEMPERATURE CONTROLS, SMOKE DETECTORS, DAMPER MOTORS, CONTRACTORS, RELAY, ETC. FOR EQUIPMENT.
- T. TELEPHONE SERVICE: CONDUIT SYSTEM AND OUTLETS FURNISHED AND INSTALLED.
- U. IN CASE OF ANY CONFLICT BETWEEN CODES, DRAWINGS AND SPECIFICATIONS, THE MOST STRINGENT SHALL GOVERN. REPORT CONFLICTS, IN WRITING, AT TIME BIDS ARE TENDERED, AS THEY WILL NOT BE ENTERTAINED AS AN EXTRA AT A SUBSEQUENT DATE.
- V. INCLUDE CONDUIT FOR ELECTRICAL SYSTEMS: POWER, LIGHT, TELEPHONE, DATA COMMUNICATIONS, FIRE, CLOCK, INTERCOM, HVAC CONTROLS.
- W. ALL CONDUIT USED IN CONCRETE, MASONRY WALLS, CHASES, CRAWL SPACES, EXPOSED AND UNDERGROUND TO BE RIGID STEEL, THICK WALL, HOT-DIPPED GALVANIZED OR SHERARDIZED, BEARING THE STAMPED APPROVAL OF THE NATIONAL BOARD OF FIRE UNDERWRITERS AND APPROVED BY THE ARCHITECT. ALL OTHER CONDUIT MAY BE HOT-DIPPED GALVANIZED OR SHERARDIZED ELECTRICAL METALLIC TUBING, INSTALLED WITH COMPRESSION COUPLINGS, CONNECTORS, CADMIUM FINISH. PVC ELECTRICAL CONDUIT MAY BE USED UNDER GRADE AND UNDER SLAB ONLY IN ACCORDANCE WITH N.E.C. AND IF PROPERLY BEDDED AND GROUNDED. PROVIDE GREEN GROUND IN ALL PVC CONDUIT. CONDUIT 1-1/4" AND LARGER TO HAVE STEEL ELBOWS.
- X. RIGID CONDUITS, WHERE THEY ENTER PANEL BOXES, PULL BOXES, SUPPORT BOXES, OR OUTLET BOXES TO BE SECURED BY GALVANIZED LOCK-NUTS INSIDE AND OUTSIDE AND HAVE GALVANIZED BUSHING INSIDE.
- Y. NO CONDUITS SMALLER THAN 3/4" MAY BE USED IN THE BUILDING FOR LIGHTING, POWER, OR TELEPHONE SYSTEM, EXCEPT SWITCH LEGS WHICH MAY BE 1/2" IF IT IS LARGE ENOUGH FOR THE REQUIRED NUMBER OF CONDUCTORS.
- Z. ALL CONDUIT NOT IMBEDDED IN CONCRETE SHALL BE FIRMLY SECURED BY MEANS OF APPROVED PIPE CLAMPS, HANGERS, ETC.
- AA. PROVIDE EMPTY CONDUITS WITH NO. 14 GALVANIZED STEEL PULL WIRE. ON RECESSED PANELS, EXTEND ONE EMPTY 3/4" CONDUIT FOR EACH THREE SPARE CIRCUITS OR SPACES TURN INTO CEILING SPACE ABOVE PANEL FOR FUTURE USE. TELEPHONE CONDUITS ALSO TO HAVE PULL WIRE INSTALLED.
- AB. NO CONDUIT TO BE INSTALLED ON TOP OF METAL DECK (BETWEEN DECK AND ROOF COVERING).
- AC. CONCEAL CONDUITS IN FINISHED AREAS; RUN IN DIRECT LINE WITH LONG BENDS, OFF-SETS, SUSPENSION BY WIRE OR PERFORATED STRAPS FROM STRUCTURE IS NOT ACCEPTABLE.
- AD. FACE OF OUTLET BOX SHALL BE NOT MORE THAN 1/4" FROM FINISHED SURFACE.
- AE. BOXES FOUND OUT OF PLUMB OR OUT OF PLANE SHALL BE REPLACED.
- AF. SWITCH AND RECEPTACLE PLATES SHALL BE SIERRA STAINLESS STEEL "JUMBO" DESIGN, AND SHALL HAVE PROPER NUMBER OF GANGS FOR THE SWITCHES COVERED. IN UNFINISHED AREAS ON EXPOSED WIRING, USE CADMIUM PLATED INDUSTRIAL PLATES.
- AG. MAIN DISTRIBUTION PANEL BOARD BUS BARS SHALL BE COPPER.
- AH. LIGHTING PANELBOARDS ALL ELECTRICAL METAL PARTS, INCLUDING BUS BARS, ETC., SHALL BE OF BEST GRADE HARD DRAWN COPPER OF 98% CONDUCTIVITY.
- AJ. FURNISH AND INSTALL ALL LIGHTING FIXTURES AS SHOWN ON PLANS AND SCHEDULES.
- AK. FURNISH AND INSTALL ALL LAMPS IN FIXTURES FURNISHED AND INSTALLED UNDER THIS CONTRACT. FLUORESCENT LAMPS SHALL BE WARM WHITE, ENERGY SAVING TYPE, UNLESS SCHEDULED OTHERWISE. INCANDESCENT LAMPS SHALL BE INSIDE FROST, 130V, OTHER DETAILS MAY BE SHOWN IN THE LIGHT FIXTURE SCHEDULE.
- AL. ALL ELECTRICAL BIDS SHALL BE BASED UPON EQUIPMENT AS SPECIFIED.
- AM. FURNISH, INSTALL DIMMING CONTROLS, DIMMERS WHERE REQUIRED (SEE DRAWINGS). COORDINATE ACTUAL EQUIPMENT FURNISHED WITH FIXTURE REQUIREMENTS.
- AN. CONTRACTOR IS RESPONSIBLE TO COORDINATE FIXTURES WITH CEILING CONSTRUCTION SO THERE ARE NO INSTALLATION DIFFICULTIES.
- AP. EMERGENCY AND EXIT LIGHTS THE CONTRACTOR SHALL FURNISH AND INSTALL THE REQUIRED NUMBER OF EXIT SIGNS AND EMERGENCY LIGHT FIXTURES AS PER CODE REQUIREMENTS AND AS SHOWN ON THE DRAWINGS. LIGHTS SHALL PROVIDE EMERGENCY ILLUMINATION FOR A MINIMUM OF 90 MINUTES IN THE EVENT OF AN ELECTRICAL POWER FAILURE.
- AQ. TRANSFORMER AND MDP BASE FURNISH AND INSTALL A REINFORCED CONCRETE BASE PER UTILITY COMPANY STANDARDS WITH A MINIMUM THICKNESS OF 12" PROVIDE A 6" HOUSEKEEPING PAD UNDER ALL OTHER FREE STANDING INTERIOR DISTRIBUTION PANELS. PROVIDE A 12" REINFORCED PAD FOR EXTERIOR MDP.
- AR. CONDUITS FOR SERVICE TO ELECTRICAL CIRCUITRY SHALL BE INSTALLED IN JOIST SPACE AT TOP CORD, RUN PERPENDICULAR AND/OR PARALLEL TO MAIN ARCHITECTURAL AXIS TO BUILDING, TO ATTACHED TO JOISTS WITH "MINERALIAC" CLAMPS. NO ATTACHMENT TO ANY PORTION OF THE BUILDING OR ITS FRAME SHALL BE MADE WITH WIRE. ALL ATTACHMENTS SHALL BE MADE WITH APPROVED CLAMPS.
- AS. NO CONDUIT SHALL BE EXPOSED EXCEPT IN ELECTRICAL ROOM UNLESS APPROVED BY ARCHITECT.

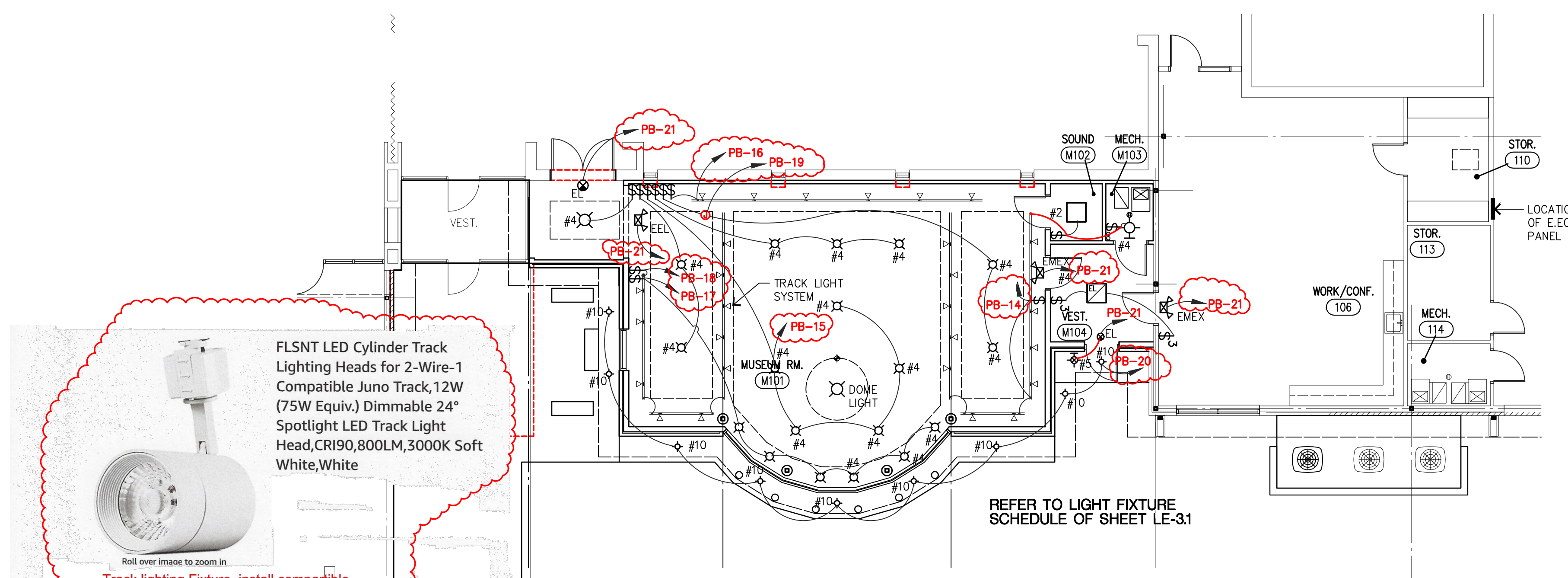
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 918 - 747 - 8028 FAX 1-866-927-0456

CITY LIBRARY ADDITIONS
 for the CITY of PRYOR CREEK
 505 East Graham Avenue PRYOR CREEK, OK

PROJECT NO.: 1905M
 DATE ISSUED: Oct. 04, 2021
 DRAWN BY:
 REVISIONS:
 -11/17/21
 11/29/21

MUSEUM ADDITION
 ELECTRICAL PLANS

LM.E1
 of



FLSNT LED Cylinder Track Lighting Heads for 2-Wire-1 Compatible Juno Track, 12W (75W Equiv), Dimmable 24° Spotlight LED Track Light Head, CRI90, 800LM, 3000K Soft White, White

Roll over image to zoom in

Track lighting Fixture, install compatible track system as shown on plan, track color to be white to match fixture.

Color: White

Power Source: AC

Material: Aluminum

Style: Modern

Plug Profile: Wall

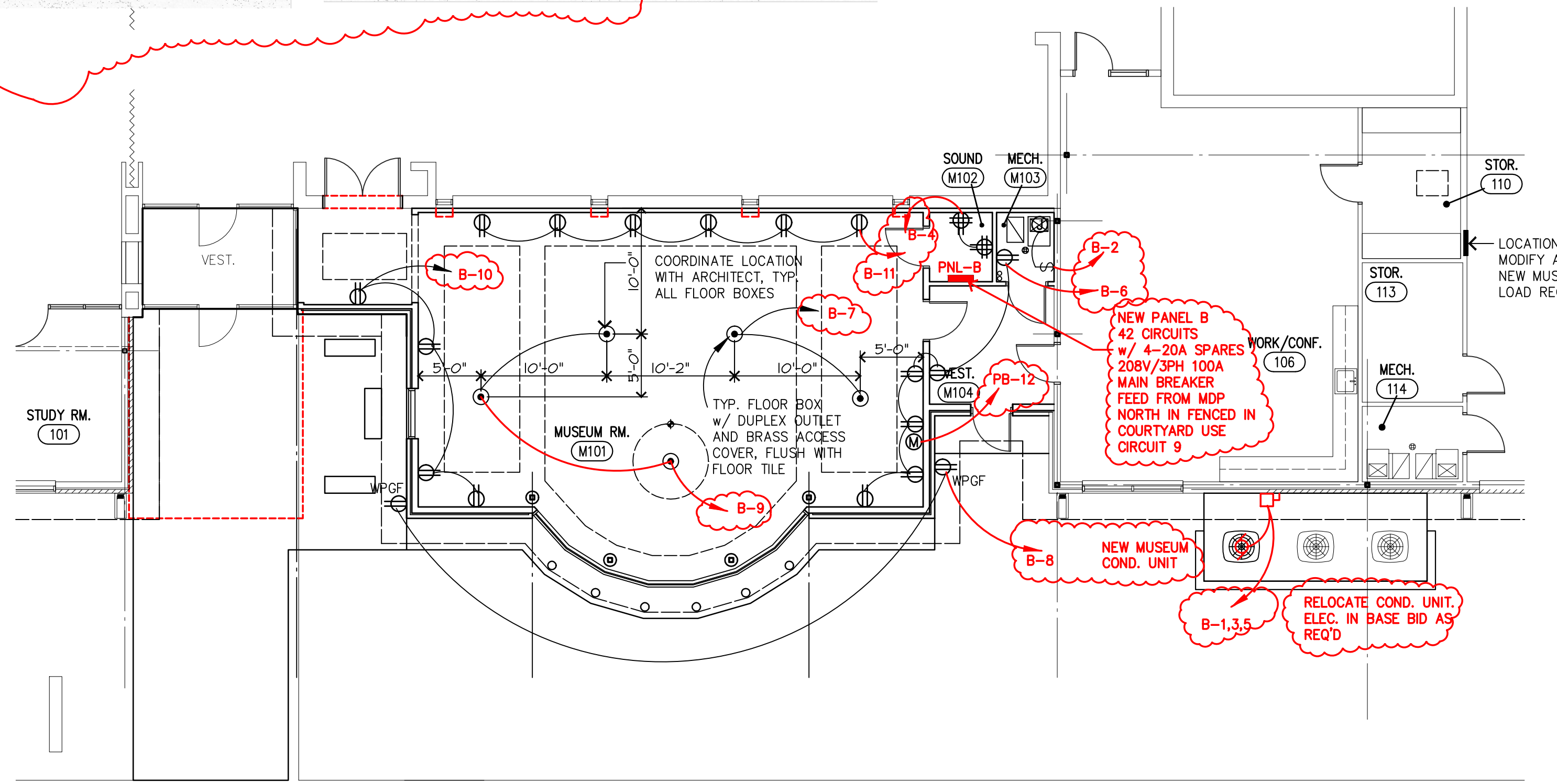
Special Feature: Dimmable

About this item

- For Juno Track: LED track head only for 2-Wire-1 Compatible Juno Track. Size: Dia 2.75 x L 3.93 inches (70mm x 100mm)
- Adjustable: The track light heads are LED integrated with a 24 degree beam angle and ideal for highlighting decor. Bulb included (Nonremovable)
- Smooth Dimming: 3000K soft white lighting, adjust the brightness as your preference. CRI 90 outstanding color rendering, shows more natural and realistic color. Dim smoothly, flicker-free and humming free. 180 degree horizontal rotation or 90 degree vertical project
- Energy Efficiency: Saving electricity up to approx 80%, lasting approx. 35000 hours of life in good condition
- If the lights don't work, please adjust the 2 iron sheets to contact with track well, or clean oxydic rust on the iron sheet. The Juno Track LED Lighting Heads belong to project lighting fixtures and we kindly advise that

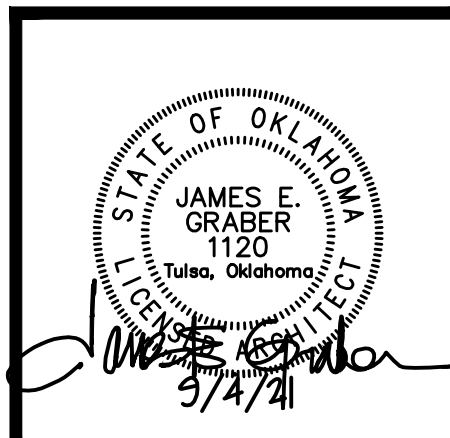
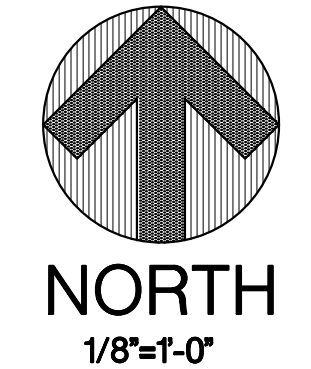
Westinghouse 5085000 6 inch White Integrated LED Recessed Trim or approved equal. Install at center of acrylic dome.

Dome is 6 ft. in diameter and 8" high at center point, 1/4" thick, color white.



BASE PLAN SPECIFICATIONS, ADDENDUMS AND DRAWINGS/DETAILS SHALL APPLY TO THESE DRAWINGS

A NEW MUSEUM POWER PLAN
 1/8"=1'-0"

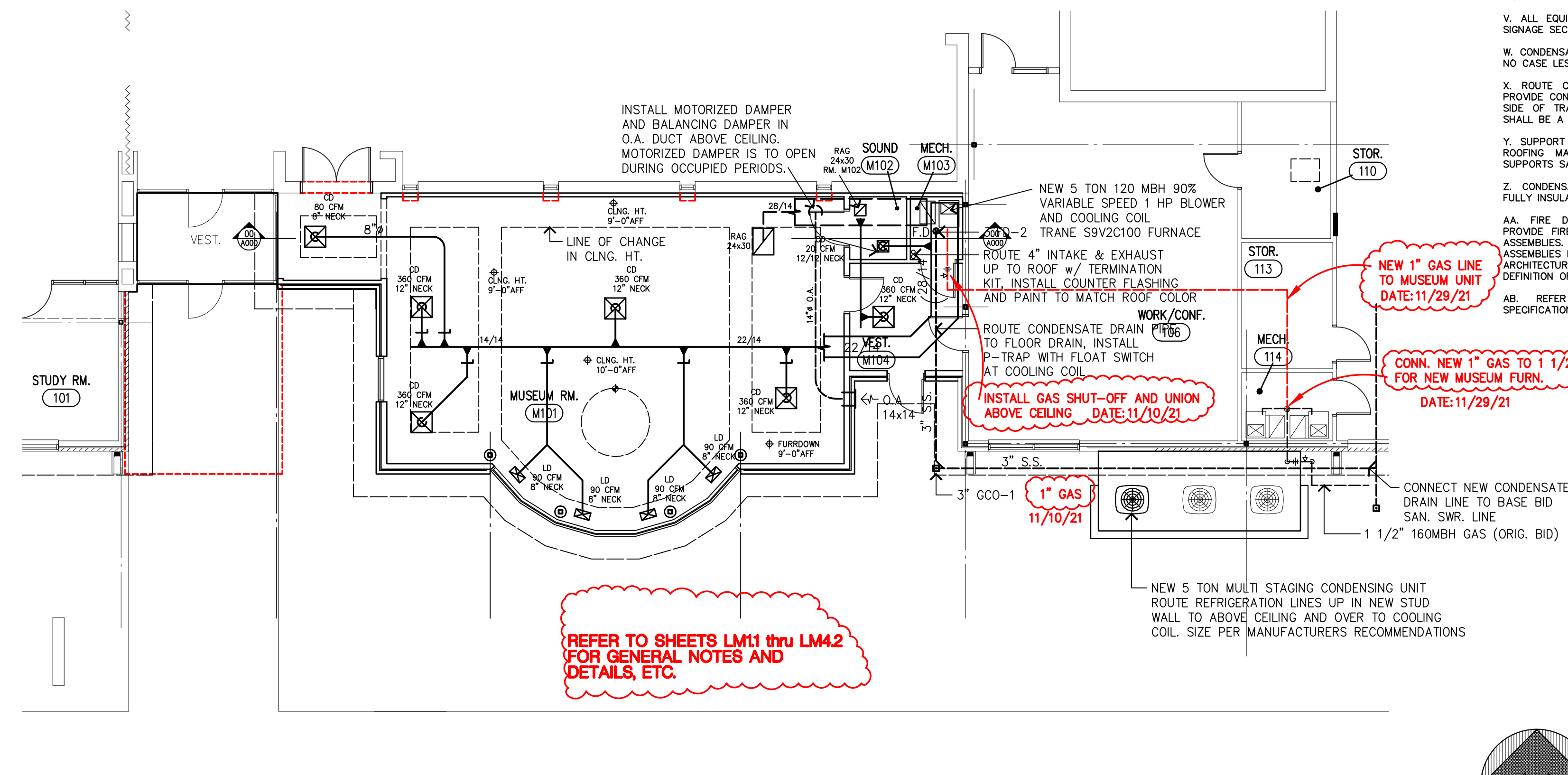


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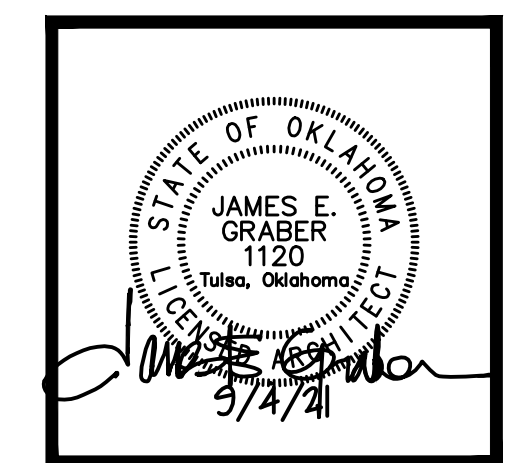
H.V.A.C. GENERAL NOTES:

- A. ALL EXPOSED SURFACES THAT ARE NOT PRE-FINISHED TO BE PAINTED. ALL COLORS TO BE SELECTED BY THE ARCHITECT.
- B. WORK SHOWN ON THE DRAWINGS IS TO BE COORDINATED WITH WORK OF ALL OTHER TRADES AND ACTUAL CONDITIONS OF CONSTRUCTION.
- C. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH CODE REQUIREMENTS AND MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, ADHERING TO REQUIRED CLEARANCES FOR OPERATION AND SERVICING.
- D. ELECTRICAL REQUIREMENTS OF FURNISHED AND INSTALLED DIVISION 23 EQUIPMENT AND SYSTEM COMPONENTS SHALL BE PROVIDED IN WRITING BY THE DIVISION 23 CONTRACTOR TO THE DIVISION 26 CONTRACTOR FOR INCLUSION AND COORDINATION OF DIVISION 26 WORK.
- E. PROVIDE FLEXIBLE DUCT CONNECTION TO EXHAUST FANS, SUPPLY FANS, ROOF TOP UNITS, FAN COIL UNITS, FURNACES, AIR HANDLING EQUIPMENT, ETC.
- F. DUCTWORK CONSTRUCTION AND INSTALLATION SHALL BE PER MOST RECENT SMACNA STANDARDS FOR PRESSURE AND VELOCITY OF SYSTEM INSTALLATION. ALL DUCT JOINTS SHALL BE SEALED AS NOTED IN THE SPECIFICATIONS.
- G. DUCT SIZES SHOWN ON DRAWING ARE AS INDICATED.
- H. MAKE TRANSITION FROM DUCTWORK SIZES SHOWN ON THE DRAWINGS TO EQUIPMENT DUCT CONNECTION SIZES. VERIFY EQUIPMENT CONNECTION SIZES WITH FACTORY CERTIFIED DRAWINGS. MAKE ALL TRANSITIONS PER MOST RECENT SMACNA STANDARDS.
- J. ALL MAJOR BRANCH DUCTS SHALL BE CONSTRUCTED USING OPPOSED BLADE DAMPERS WITH LOCKING DEVICE OR WITH SPLITTER DAMPER WITH LOCKING DEVICE FOR BALANCE OF DUCT SYSTEM.
- K. TURNING VANES SHALL BE INSTALLED IN ALL RECTANGULAR 90 DEGREE ELBOWS IN SUPPLY, RETURN AND EXHAUST DUCTWORK, AND AS INDICATED ON THE DRAWINGS.
- L. USE MIN. LENGTH FLEXIBLE DUCT TO AIR DEVICES, (MAX. 5 FT.). USE FLEX DUCT ONLY IN FULLY ACCESSIBLE CEILING SPACES. PROVIDE 90 DEGREE SHEET METAL ELBOW AT CEILING DIFFUSER NECK CONNECTION. PROVIDE SADDLE UNDER FLEXIBLE DUCT HANGER TO SUPPORT DUCT AND PREVENT "PINCHING" OF DUCTWORK. FLEXIBLE DUCT SHALL BE INSTALLED SO AS NOT TO REDUCE CROSS SECTION AREA OF DUCT.
- M. WHERE DUCT RUNOUTS FROM SECTIONS OF MAIN DUCTWORK TO DIFFUSERS ARE UNEQUAL IN EQUIVALENT LENGTH AND RESULT IN SIGNIFICANT DIFFERENCES IN PRESSURE DROP WHICH REQUIRE PINCHING TAKEOFF DAMPER OR DAMPER AT GRILLE FACE, ADDITIONAL FLEXIBLE DUCT AND/OR ADDITIONAL CHANGES IN DIRECTION SHALL BE INSTALLED IN RUNOUT DUCT WITH LEAST PRESSURE DROP TO BRING DUCTS TO EQUIVALENT PRESSURE LOSSES.
- N. WHERE DUCT TAKE-OFFS TO GRILLES ARE NEAR THE UNIT AND RESULT IN PRESSURE DROPS SIGNIFICANTLY LESS THAN THE FURTHERMOST DIFFUSER BRANCH, THE RUNOUT DUCT SIZE TO THE GRILLE SHALL BE REDUCED FROM THE SCHEDULED RUNOUT SIZE TO INCREASE THE PRESSURE DROP AND PREVENT THE NEED TO PINCH THE DAMPER AT THE TAKE-OFF AND/OR GRILLE FACE.
- P. THE CONTRACTOR SHALL COORDINATE ROUTING AND SIZE OF DUCTWORK WITH ACTUAL FINAL BUILDING CONDITIONS OF STRUCTURE SIZE AND LOCATION, LIGHT LOCATIONS, ARCHITECTURAL FEATURES, AND WORK OF OTHER TRADES. WHERE DUCT SIZES MUST BE REVISED FROM THOSE SHOWN ON THE DRAWINGS, MAINTAIN SAME CROSS SECTIONAL AREA, VELOCITY, AND PRESSURE DROP. WHEN NECESSARY, REROUTE DUCT TO CLEAR OBSTRUCTIONS WITH MIN. NUMBER OF FITTINGS AND ELEVATION CHANGES. WHERE DUCT MUST BE SIGNIFICANTLY ALTERED FROM THAT SHOWN ON THE DRAWINGS, NOTIFY THE ARCHITECT PRIOR TO PROCEEDING.
- Q. EXPOSED DUCTWORK AND ACCESSORIES IN FINISHED AREAS TO BE PAINTED AS DIRECTED BY ARCHITECT.
- R. DIVISION 23 CONTRACTOR SHALL PROVIDE TEST AND BALANCE OF HVAC SYSTEMS. TEST AND BALANCE SHALL BE PERFORMED AND REPORTED AS DESCRIBED BY NEBB OR AABC. FILTERS SHALL BE NEW AND CLEAN. DUCTWORK CLEAN, AND EQUIPMENT CONTROLS AND DEVICES FULLY FUNCTIONAL AT THE TIME OF PERFORMING BALANCE WORK.
- S. MAINTAIN MIN. 10'-0" CLEAR BETWEEN ANY FLUE, VENT OR TOILET EXHAUST AND OUTSIDE AIR INTAKES. WHERE HORIZONTAL DISTANCE CANNOT BE PROVIDED, EXTEND FLUE VENTS 2'-0" ABOVE OUTSIDE AIR INTAKE.
- T. SMOKE DETECTORS SHALL BE REQUIRED IN ALL HVAC UNITS WITH 2,000 CFM AND GREATER CAPACITY. SMOKE DETECTORS SHALL BE FURNISHED AND INSTALLED UNDER DIVISION 23. DIVISION 23 WORK SHALL COORDINATE WITH DIVISION 26 CONTRACTOR. INSTALL DETECTORS IN RETURN AIR. PROVIDE SMOKE DETECTORS COMPATIBLE TO DIV. 26 FIRE ALARM SYSTEM.
- U. INSTALL ALL MOTOR DRIVEN EQUIPMENT WITH VIBRATION ISOLATORS AND OR PADS TO REDUCE NOISE TRANSFER. TYPE AND METHOD OF ISOLATION SHALL BE IN CONFORMANCE WITH THOSE DESCRIBED IN THE SPECIFICATIONS FOR THE DUTY, TYPE, AND APPLICATION OF THE EQUIPMENT.
- V. ALL EQUIPMENT SHALL BE PERMANENTLY LABELED WITH BAKELITE SIGNAGE SECURED TO EQUIPMENT.
- W. CONDENSATE PIPING SHALL BE AS NOTED ON THE DRAWING, BUT IN NO CASE LESS THAN 3/4 INCHES.
- X. ROUTE CONDENSATE PIPING TO APPROVED DISCHARGE LOCATION. PROVIDE CONDENSATE TRAP WITH CLEANOUTS AND VENT ON DISCHARGE SIDE OF TRAP FOR ALL UNITS WITH COOLING COILS. TRAP DEPTH SHALL BE A MIN. OF THE UNIT TOTAL PRESSURE PLUS 2 INCHES.
- Y. SUPPORT CONDENSATE PIPING ABOVE ROOF AS RECOMMENDED BY ROOFING MANUFACTURER TO MAINTAIN ROOF WARRANTY. SPACE SUPPORTS SAME AS NOTED FOR PIPE HANGERS.
- Z. CONDENSATE PIPING INSTALLED WITHIN THE BUILDING SHALL BE FULLY INSULATED AND PROVIDED WITH VAPOR BARRIER.
- AA. FIRE DAMPERS SHALL BE 100% FREE AREA DYNAMIC TYPE. PROVIDE FIRE DAMPERS IN ALL DUCT PENETRATIONS TO FIRE RATED ASSEMBLIES. PROVIDE ACCESS DOORS IN DUCTWORK AND FIRE RATED ASSEMBLIES FOR OBSERVATION AND MAINTENANCE OF DAMPERS. REFER ARCHITECTURAL DRAWINGS FOR LOCATION, RATING, AND ASSEMBLY DEFINITION OF FIRE RATED WALL, CEILING, AND FLOOR ASSEMBLIES.
- AB. REFER TO ARCHITECTURAL DRAWINGS AND DIVISION 1 SPECIFICATIONS FOR DESCRIPTION OF ALTERNATES.

BASE PLAN SPECIFICATIONS, ADDENDUMS AND DRAWINGS/DETAILS SHALL APPLY TO THESE DRAWINGS



A NEW MUSEUM H.V.A.C. PLAN
1/8"=1'-0"



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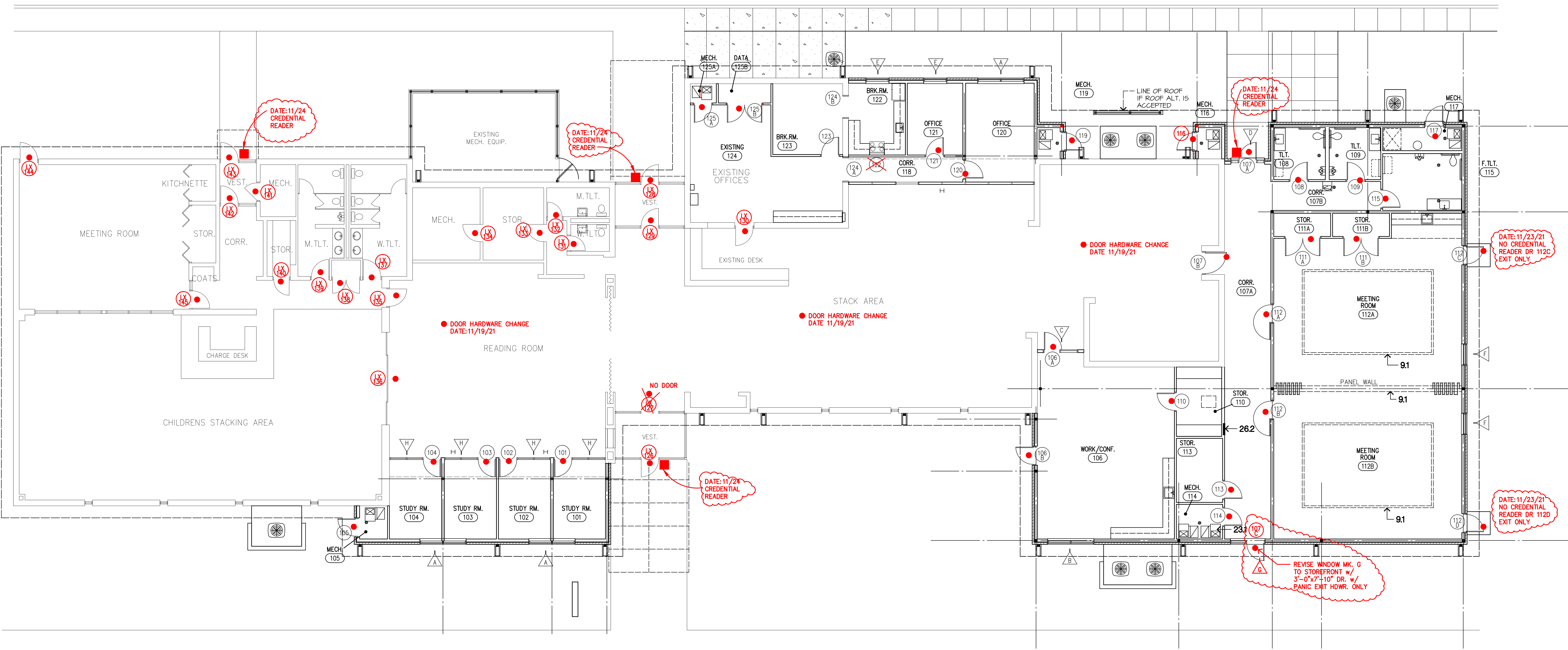
CITY LIBRARY ADDITIONS
for the CITY of PRYOR CREEK
505 East Graham Avenue
PRYOR CREEK, OK

PROJECT NO.: 1905M
DATE ISSUED: Oct. 04, 2021
DRAWN BY:
REVISIONS:
11/10/21
11/29/21

MUSEUM ADDITION
HVAC PLAN

LM.M1
of

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- CREDENTIAL READER AT DOOR
- HARDWARE CHANGE

**DOOR & HARDWARE CHANGES
PER MEETING ON OCT. 20, 2021**

Plan Date: 11/23/21